



## PLANNING COMMISSION

# AGENDA

City Hall Council Chambers, 435 Martin Street, Suite 3000  
Thursday, August 25, 2016

7:00 P.M.

### *Planning Commissioners*

Chair

Vernon "Van" Tabb

Vice-Chair

J Calvin Armerding

Sue Sturgill

Richard May

John LeBrun

Ken Ely

Kevin Owens

*For information regarding this  
Agenda, please call:  
(360-332-8311)*

*All proceedings are recorded.*

1. **CALL TO ORDER**
2. **ROLL CALL**
3. **AUDIENCE COMMENTS**  
(regarding items not on the agenda)
4. **PUBLIC HEARING**
  - Semiahmoo Zone 3  
Planned Unit Development and Preliminary Plat
5. **INFORMATIONAL ITEMS**
6. **APPROVAL OF MINUTES**
  - July 28, 2016
7. **ADJOURNMENT**



# STAFF REPORT TO PLANNING COMMISSION

**MEETING DATE:** August 25, 2016 at 7:00 p.m.

**SUBJECT:** **Semiahmoo Zone 3**

**PROPONENT:** Rimland Pacific (Wayne Schwandt)

**APPLICATION TYPE(S):** Planned Unit Development and Preliminary Plat

**FILE NUMBER(S):** PUD-2-16 and LOP-1-16

**REQUEST:** An application for permits to develop 19.4 acres at the southwest corner of Semiahmoo Parkway and Drayton Harbor Road. The development proposes 40 housing units in Phase 1 and up to an additional 79 units in future phases. The project also includes commercial space for various neighborhood commercial uses and a personal, indoor storage facility. Open space, roads, utilities and a potential park site are included in the project.

**PROJECT LOCATION:** Southwest corner of Semiahmoo Parkway and Drayton Harbor Road, a portion of the N ½ of the SE ¼ of Section 10 Township 40N, Range 1W, W.M.

**SUBMITTED BY:** Community Development Services

**AGENDA LOCATION:**

Public Hearing     Unfinished Business     New Business

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**ATTACHMENTS:**

- A. PUD and Preliminary Plat Applications and Supplemental Document
- B. Project Plan Sheet and Drawings
- C. SEPA Mitigated Determination of Non-significance
- D. Pre-Hearing Comments and Comment Summary

**ADDITIONAL DOCUMENTS AVAILABLE FOR REVIEW:**

- A. Draft Covenants, Conditions and Restrictions
- B. Draft HOA Bylaws
- C. Transportation Impact Analysis and Supplemental Memo
- D. Wetland and Wildlife Determination Update
- E. Cultural Resources Assessment\*
- F. Community Meeting Notes and Summary
- G. SEPA Checklist
- H. Preliminary Stormwater Design Report

\*Archeological reports are not provided for general public review due to the potentially sensitive nature of the report contents.

**NOTE:** The materials that constitute the official record are on file with the Community Development Services Department and may be reviewed upon request.

**SUMMARY**

The project would develop a portion of the Resort Semiahmoo Master Plan (RSMP) defined as Zone 3. The site is approximately 19 acres located at the southwest corner of the Drayton Harbor Road and Semiahmoo Parkway/Drive intersection. The site is currently mostly forested with a light understory, except towards the west where there is a denser understory. The land slopes moderately from southwest to northwest. The property is bounded by vacant land to the south, Semiahmoo Drive to the northwest and Semiahmoo Parkway to the east. The only developed property adjacent to the proposed development is the Semiahmoo Fire Station located next to the southeastern corner of the site.

The project capitalizes on the flexible allowances provided under the Planned Unit Development standards. Several buildout options are provided. This long term approach takes into account changing market factors which are challenging to predict when developing a phased project of this size. The project proposes 40 single family building lots, some of which would be developed as townhouses or paired housing units. The total unit count for Phase 1 is 40 units. The project proposes approximately 22,000 sq. ft. of indoor, personal storage in two to four buildings. Future phases of the project would bring the total residential unit count to between 78 and 119 units. Final build out could include single and multi-family housing. In addition, future phases include a small commercial center, which might be developed as a mixed-use building or buildings that include ground floor commercial uses with residential uses above. A park site is included as well. Depending on final approval, the project may include a city park site or a neighborhood park site. Except for the neighborhood commercial area and park area, the project would be a gated community. Utilities, roads, and open space are also included in the project design.

The PUD and Preliminary Plat applications are included as Attachment A. The project drawings are included as Attachment B.

**Figure 1**  
PUD Concept Plan

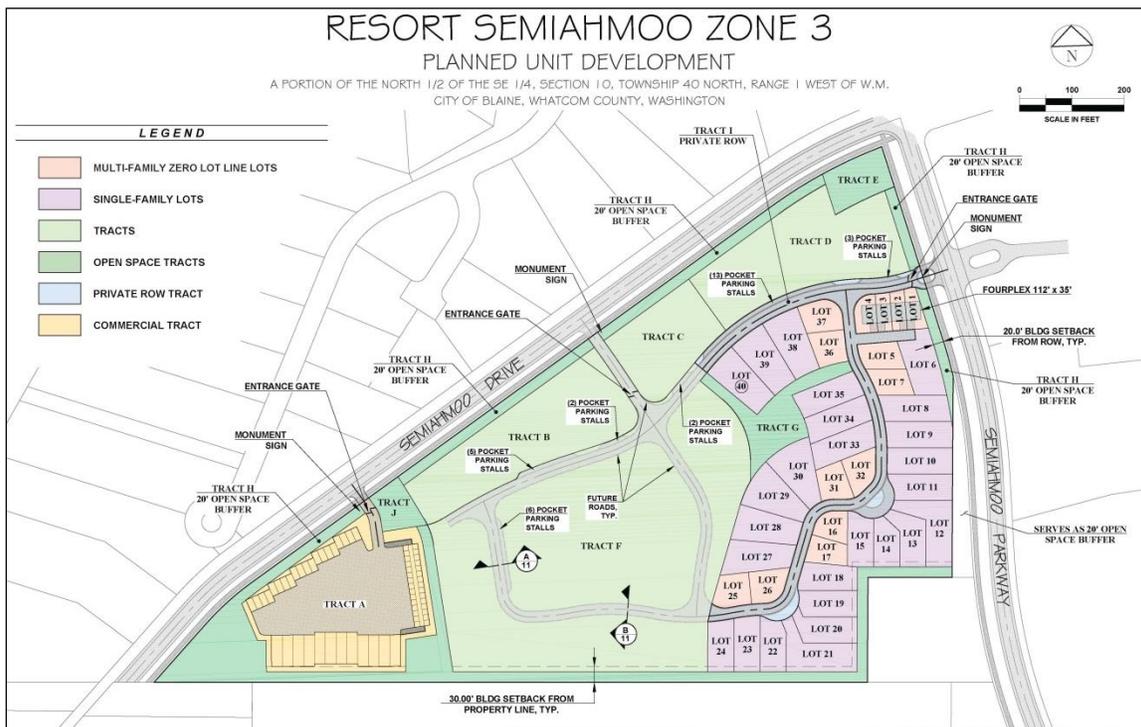


Figure 2 illustrates the project location in the western portion of the City of Blaine on the Semiahmoo uplands.

**Figure 2**

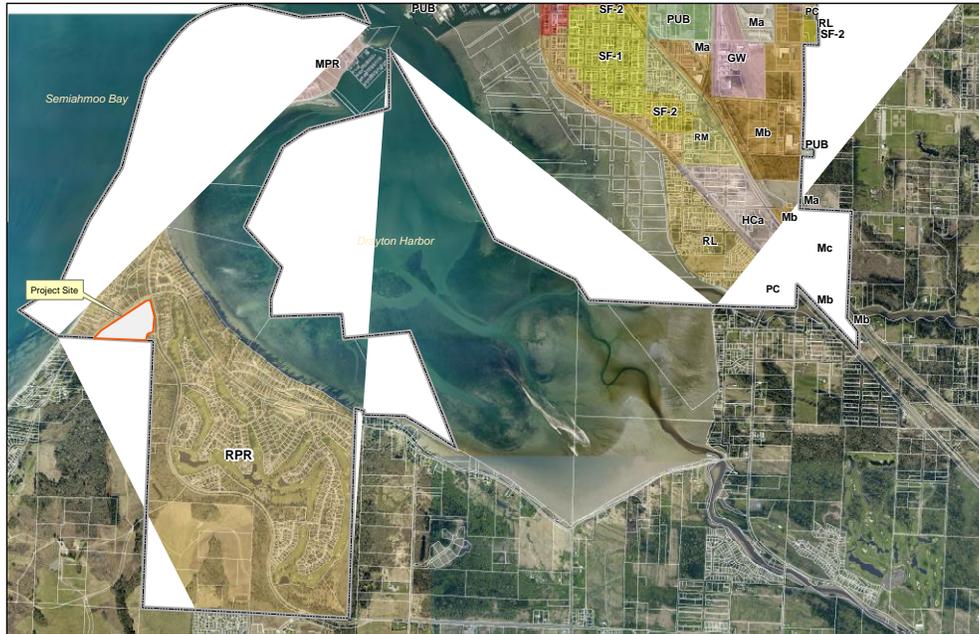
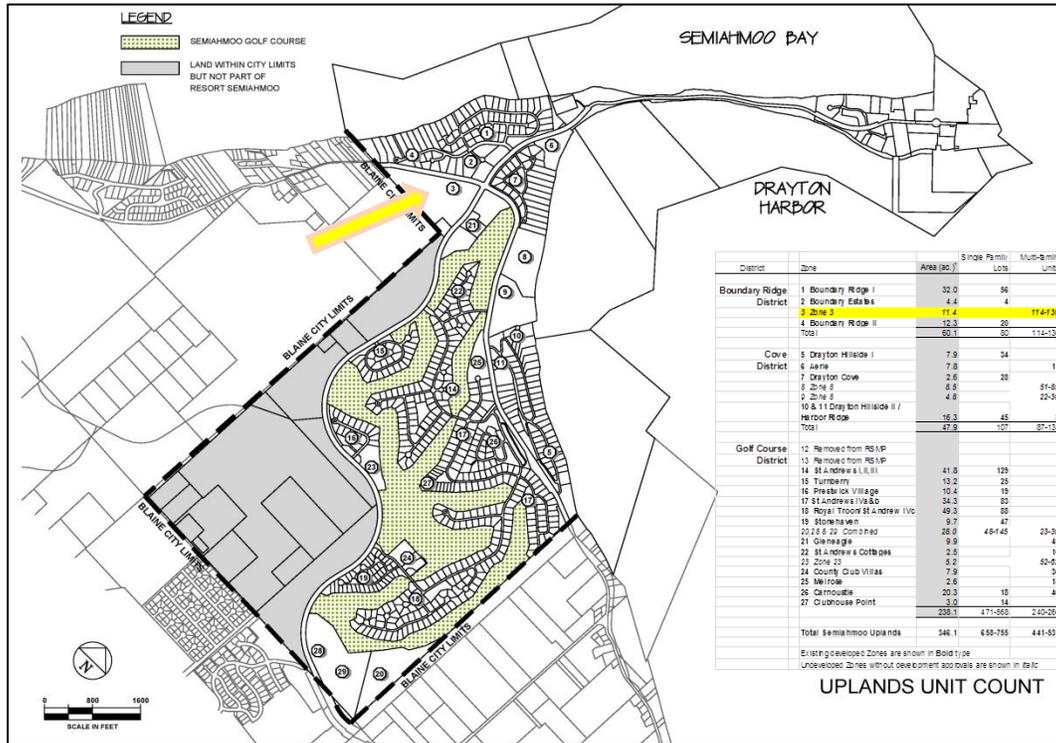


Figure 3 illustrates the site's location in regard to the Resort Semiahmoo Master Plan.

**Figure 3**



## **PROCEDURAL INFORMATION**

### **Environmental Review**

The project application is subject to review under the State Environmental Policy Act (SEPA) with review authority vested in the City's SEPA Official to address environmental impacts only. The SEPA Official reviewed the project in the context of the Blaine Municipal Code and Comprehensive Plan and considered the following project information:

- Preliminary Plat Submittal
- Planned Unit Development Submittal
- Draft Covenants, Conditions and Restrictions (CC&R's)
- Traffic Impact Analysis – Resort Semiahmoo Zone 3 (Transpo Group, June 2016)
- Transpo Group Memos (August 1, 2016 and August 10, 2016)
- Archeological and Cultural Resources Assessment (Alfred Reid, et al, January 2006)
- Wetland and Wildlife Determination Update (Cantrell and Assoc., April 2016)
- Preliminary Stormwater Design Report (Cascade Design Group, June 2016)
- SEPA Checklist (June 2016)

The SEPA Official issued an MDNS (Mitigated Determination of Nonsignificance) on August 13, 2016. The MDNS is included as Attachment C. Mitigation is included to address impacts to air quality, stormwater, cultural resources, emergency services, traffic, and aesthetics.

### **Subdivision of Land and Development Standards**

The division of the land into parcels and tracts is regulated by various code sections. The preliminary plat and the planned unit development (PUD) permits are the entitlements that together allow the division and development of the land. While the entire Blaine Municipal Code (BMC) applies to all development and permit applications, the most relevant codes sections are:

- BMC 17.38 Residential Planned Recreation Zoning District
- BMC 17.60 Long Subdivisions – Preliminary and Final Plats
- BMC 17.68 Planned Unit Developments (PUD)
- BMC 17.74 Subdivision Design Standards

It is the Planning Commission's responsibility to review the project, take and consider public testimony, and to formulate a recommendation of approval, conditional approval, or denial. The Commission makes their recommendation to the City Council. The Council has final authority over plat and PUD decisions. The City Council does not hold a public hearing, but makes their decision in a public meeting based on the record developed by the Planning Commission.

## **ANALYSIS**

### **Site Design and Physical Impacts**

#### **Roads**

The project proposes to create a network of private roads to serve the residential development. The roads would be gated. If a mixed-use, commercial center, or park is developed, the road accessing the facilities would not be gated so as to allow public access to the facility.

One road would access Semiahmoo Parkway opposite Gleneagles Drive. It would create a crossroads intersection where a "T" intersection exists today. Although there have been comments opposing this design, it is the City's preferred standard. This arrangement has been shown to be safer than off-set "T" intersections, and result in fewer conflicting vehicle movements and fewer accidents. Creating a second "T" intersection along Semiahmoo Parkway is possible, but there is nowhere along the Semiahmoo Parkway frontage that meets the City's design standards for intersection separation. So, while it is

possible, it would not meet standards and would likely reduce safety along that segment of the Parkway.

The idea of only accessing the site from Semiahmoo Drive (the north side of the property) was considered. However, this was dismissed based on traffic patterns and access to services. It is assumed that 70-percent of the trips to and from the project will ultimately come from or go to the south. Due to that traffic pattern, all those trips would be funneled through the Semiahmoo Drive/Parkway/Drayton Harbor Road intersection. That would create more traffic congestion at that intersection, and it causes inconvenience with little, if any, benefit.

At the point that the development creates the 41<sup>st</sup> housing unit, a second road is required by fire code. This second road would be constructed accessing Semiahmoo Drive. The current design shows a conceptual location about midway along the Semiahmoo Drive frontage. The final location will be determined when the preliminary plat for a future phase is approved.

A gated entry is proposed for the storage facility. This is not a road per se, but rather a driveway. However, it would function in a similar manner, providing access only to owners and tenants.

Traffic

Traffic impacts were analyzed for the project in “Transportation Impact Analysis Resort Semiahmoo Zone 3” (Transpo Group 2016). The analysis addressed trip generation (# of trips), trip distribution (flow of traffic to/from the site) and the function of two intersections (Zone 3 Entry/Semiahmoo Parkway/Gleneagle Drive and Semiahmoo Drive/Semiahmoo Parkway/Drayton Harbor Road). A supplemental memo analyzing the Bell Rd/Peace Portal/Blaine Rd intersection was provided at the request of the City.

Traffic flow functions is measured on a scale of A through F passed on “level of service” or LOS. An intersection or roadway that functions well in regard to traffic moving through efficiently without delay is ranked as an “A.” Whereas, one that fails to handle traffic volumes and high levels of congestion causing significant delay would be ranked at or near “F.” When evaluating traffic volumes, the time of day with the worst congestion is the timeframe considered. That is typically the afternoon rush hour, known as the “p.m. peak hour.”

Traffic volumes without the project and with the project, today and in the future (year 2020) are illustrated in the following table.

Intersection	2016 Existing		2020 w/o Project		2020 w/ Project	
	LOS	Delay	LOS	Delay	LOS	Delay
Semiahmoo Drive/Semiahmoo Parkway/Drayton Harbor Road	A	8	A	10	A	10
Zone 3 Entry/Semiahmoo Parkway/Gleneagle Drive	A	9	B	11	B	14
Delay is measured in average seconds wait experienced for the driver at the worst functioning leg of the intersection.						

The 4-way stop at Semiahmoo Drive/Semiahmoo Parkway/Drayton Harbor Road continues to function well at an LOS A in the future with or without the project. The Gleneagle Drive intersection LOS reduces from an “A” to a “B” with the passage of time and the increase in vehicles on the road. This is true with or without the project. The traffic analysis and City standards indicate that there are no additional improvements needed at either intersection as a result of the project.

### Stormwater

The City uses the Stormwater Management Manual for Western Washington-2014 (the Manual) to regulate stormwater flow volumes and water quality. The Manual is the accepted guide for best practices for stormwater management in the state. As a smaller jurisdiction, Blaine has the option of using the older, less stringent manual known as the 2005 Manual, but the City has opted to enforce the highest standard.

Stormwater was modeled for the site in the “Resort Semiahmoo Zone 3 Preliminary Stormwater Design Report,” prepared by Cascade Engineering Report, 2016. The site size, the proposed hard surfaces (impervious surfaces), the slope, soil types, and weather events are all considered in evaluating the site runoff. Usually both stormwater flow volumes and stormwater quality are managed. Because this site drains to the bay and harbor, stormwater flow volume does not get regulated as stringently as if it drained to a stream or wetland. The capacity of the downstream storm drainage system (culverts, ditches, and outlets) is the controlling factor. However, stormwater quality is regulated as with any stormwater outflow.

In summary, the way that stormwater will be managed from the site is that precipitation that falls on single-family lots will be allowed to percolate into the ground, mimicking what happens today in the undeveloped state. Precipitation that falls on the roads, parking lots, and commercial or multi-family sites will be captured and routed to water quality treatment areas where it will be released to the off-site drainage system at a rate that the downstream facilities can accommodate. This results in treatment of 91-percent of precipitation either through infiltration or in engineered facilities. Partial infiltration preserves the natural volume of water entering the ground helping to ensure the recharge of groundwater and the health of trees and other vegetation.

There are two stormwater treatment facilities planned, one is also a stormwater detention facility. Both are located along the Semiahmoo Drive frontage. The treatment facility is located at the corner of the Parkway and the combined treatment and detention facility is located further west. The one at the corner of the Drive and Parkway is highly visible and in a prominent location. It is important that this be landscaped and maintained so that it is a visual amenity. Staff has consulted with Cascade Engineering (M. DiSpigno) to verify that this facility can be a shallow, irregular shape which can be landscaped with native and ornamental species. Cascade Engineering confirms that the facility can be designed and planted in that manner and that the facility would only infrequently have water ponded at the surface, typically only during and immediately after heavy rain events. After the landscaping matures, the area will look like a shallow natural depression. Staff has proposed a condition of approval to ensure the facility is designed in an appropriate manner.

The other facility is a more traditional pond. This pond is located along Semiahmoo Drive in a much less visible location. Nonetheless, landscape screening is still important. A condition of approval is proposed to require landscape screening between the pond and Semiahmoo Drive.

### Trails

The project has trail frontage on both Semiahmoo Parkway and Semiahmoo Drive. The project will develop pedestrian connections to both trails. One in Phase 1 at the entry on Semiahmoo Parkway and one during construction of the future phase(s) with connection at Semiahmoo Drive.

As with other projects developed under the RSMP, the proponent has proposed that the project will have crushed rock walking paths along the side of the internal private roads. The City has adopted neighborhood design standards that allow for a mix of gravel paths, paved paths and sidewalks. In the area where townhouses are proposed, staff believes that asphalt paths or concrete sidewalks are

appropriate due to the higher density of development. This is also the convergence of all the pedestrian traffic. Everyone walking into and out of the neighborhood will use the walkway fronting Lots 1-4, as such staff has proposed a condition of approval requiring asphalt or concrete walkways at least 4 feet wide along that frontage.

As is standard practice, during construction review the City will require that any damage to the trails in the public right-of-way is repaired.

#### Parking

In the RSMP, this site is designated for parking as described earlier in this report. Up to 400 spaces are considered for this site. While this number of spaces may neither be desirable or needed, it does raise the issue of eliminating such a large number of parking spaces intended to support other uses in the resort area. Staff consulted with the City Director of Public Safety (M. Haslip) and he indicates that the police are increasingly finding vehicles parked illegally during the warm summer months, and they report that this is generally due to the limited amount of parking available on the Spit. Parking is available in three locations; at the County Park, at the Semiahmoo Shore view shelter and in a small lot across from Marin. All other parking lots are private. There is no legal on-street parking on the Spit. There is no formal public parking in the uplands; however, people do use pullouts in a few locations to access the trails.

Given the RSMP expectation for this site and apparent need for some parking to access trails and to accommodate visitors to the Spit, this site should provide some of the 400 planned parking spaces. We recommend that these be included in the proposed public park. If the park is not developed as a public facility, then a standalone ten-car lot should be created along the Semiahmoo Drive frontage to provide for trail access and overflow parking for uses on the Spit.

#### Access Gate

The project is proposed as a gated community. The design is slightly different than some of the existing gates. It includes a turnaround. The City prefers this design because it allows for a car that gets refused entry to loop around and re-enter traffic without backing into the road.

The City has required that the entrance is sized to allow panel delivery trucks to circle around in a similar manner if need be. The final design of the gate will be reviewed for access and turning movements by the City Public Works Department and the Fire District. The City and the Fire District have access at all times and have the ability to override the gate for access in an emergency.

#### Lighting

The project will install lighting on the internal street system. In addition, lighting will be added at the intersection of Semiahmoo Parkway and the entry road, as well as at Semiahmoo Drive and entrance to the storage facility. In future phases lighting will be required in a similar pattern (along internal street and at intersection with the public roads). Lighting shall meet current City standards for the RPR zoning district, which is a wooden light pole and an LED box light, similar to what exists in other Semiahmoo neighborhoods.

#### Vegetation

The development of the property will clear areas of the site. The tree canopy and the understory will be removed where roads and infrastructure are planned and installed. Trees will be retained in open space areas, in buffers, and in front, rear and side yards where feasible. Clearing will be delayed in areas planned for future phases until those phases are approved with a site plan, plat, PUD amendment or other land use entitlement.

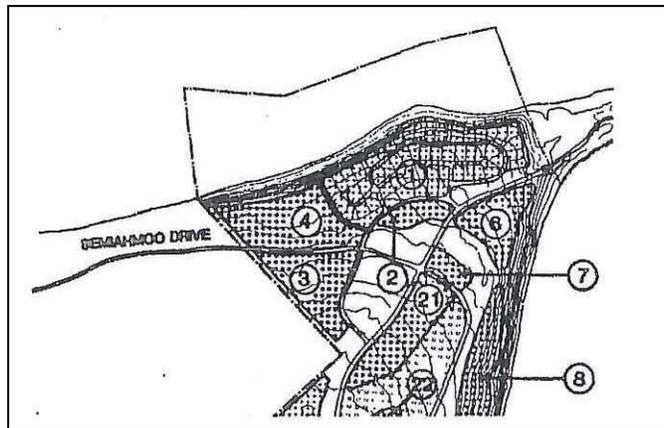
The loss of some forest cover is a notable change to the site. It is, however, the expected and typical result of urban development. An analysis of habitat and wildlife (Wetland and Wildlife Determination, Resort Semiahmoo Zone 3, 2106) was conducted by Cantrell and Associates and provided to the City for review. They identified second growth forest habitat with some logging disturbance. They noted that habitat protection areas that exist offsite near and within the aquatic areas of Semiahmoo Bay and Drayton Harbor. They identified offsite bald eagle nesting protection areas that do not extend onto the site. They investigated the possible presence of other priority species, including pileated woodpecker which has been identified in other nearby areas. No priority species or habitats were identified on the site in the immediate vicinity.

**Comprehensive Plan Consistency**

The Resort Semiahmoo Master Plan (RSMP) is a part of the City’s Comprehensive Plan, and as such is the guiding document that sets goals, policies and guidelines for the area. Generally, the RSMP guides the development of a mixed-use community that is primarily residential, but with some commercial components. The development has a focus on recreation. It is oriented towards retaining some of the natural environment; in particular aesthetic aspects such as a forested setting, shoreline access, and views (territorial, water and distant mountain views).

**Figure 4**

Boundary Ridge District (RSMP p. 5.8)



Zone 3 is within the area named Boundary Ridge District, which include four zones (Zones 1-4). The Boundary Ridge District was planned for one single family zone and three multi-family zones. Zones 1, 2, and 4 have all been approved and subdivided to be single family development. Together they became the area identified as the Boundary Ridge subdivision accessed by the gate at Shearwater Road.

Zone 2 and Zone 4 were developed below the planned density and in a manner (single family vs multi-family) that might be considered

inconsistent with the RSMP, except that the RSMP specifically states “single family uses will be allowed in multifamily zones.” (p. 5.14)

The Boundary Ridge District “building design and site planning guidelines” suggest that multi-family areas adjacent to single family areas should be developed at 5-6 units/acre. Vegetation buffers should be used to separate these uses.

The RSMP describes a variety of uses for Zone 3. The table below summarizes the residential uses and non-residential uses.

Residential Use	Non-Residential Use
Multi Family Dwelling Units	Retail/Restaurants/Services
114-136 total units	Service Station
10-12 unit/acre density	Offices
	Civic Uses
	Recreational Vehicle Parking and Storage

	Parking lot for off-site Semiahmoo Spit uses
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The RSMP (p. 5.7) states, “The center will provide retail spaces for groceries, personal needs and gifts in the atmosphere of a general store. In addition a service station, small offices and restaurants, and civic facilities such as a post office, fire station and community services, are planned. Parking for recreational vehicles, additional parking to serve the Spit and provision of a future shuttle bus...”

The RSMP has a provision that allows for changing the parking and vehicle storage for other approved uses (p. 5.8). There is also a provision for modifying the residential density (up or down) as part of a PUD (p.5.4). Changing the commercial uses is not so clearly described, but the uses listed in the plan are examples of permitted and likely uses, not absolute, as noted by the phrasing “such as.”

Phase 1 is at a density of approximately 6.25 units/acre. This is below what the RSMP calls for in the unit allocation (10-12 units/acre), but is what the RSMP suggest for multi-family adjacent to single family areas (5-6 units/acre). It should be noted this project is not immediately adjacent to any existing uses except the fire station. It is located across the street from the Boundary Ridge subdivision which is single family, and Gleneagles Villas which is multi-family.

We prepared a density comparison of some existing developments to help illustrate what 6.25 units/acre would look like on the ground. Gleneagle Villas is closest to the proposed Zone 3 project in regard to density. The Aerie Condos may not be the best comparison because it is located on a steep slope and is within shoreline jurisdiction, which is partly responsible for the lower density achieved.

**Density Comparison**

Project	Acres	Units	Units per Acre
Melrose Cottages	4.59	18	3.92
Gleneagle Villas	10.72	49	4.57
Club House Point	3.98	14	3.52
Aerie Condos	4.90	11	2.25
Zone 3, Phase 1 Residential	6.40	40	6.25

Although the project proposes relatively low density compared to the maximum density allowed the mix of residential uses and the density proposed seem appropriate for the area. The perimeter buffers are designed with sensitivity to surrounding existing developments.

The project has received some early public comment (see Attachment D). The storage units are specifically noted as a concern. As noted above, the RSMP lists uses such as recreational vehicle parking and storage as those considered for the site. From the perspective of the RSMP, staff finds the use to be consistent. Regardless, site screening, building design, lighting, security and management are all things that should be adequately addressed to ensure the project is aesthetically consistent with the resort area and does not adversely impact neighbors or visitors.

**Zoning Code Consistency**

BMC 17.38 Residential Planned Recreation

The Residential Planned Recreation Zoning District (BMC 17.138) gives a sense of context for development, but it does not remove or override the allowances of the RSMP, which provides density, unit counts, and types of land use. BMC 17.38.020 and 030 list the permitted and conditional uses.

A list of 12 design elements are included in BMC 17.38.050.B. These are required elements of residential design in the RPR zoning district and the project CC&R's must include them. They are also included in the Semiahmoo Resort Association (SRA) CC&R's. A condition of approval requires that these are included in the CC&R's for the project. The standards address:

Minimum living space (i.e. square footage)	Roof pitch
Roofing materials	Roof plan (i.e. restrictions on rooftop HVAC)
Siding material	Accent materials (i.e. wood, stone, or brick)
Exterior color	Wind sash (i.e. non-reflective)
Foundation exposure	Exterior elements (i.e. disallowed yard elements)
Utility service locations	Exterior lighting

### BMC 17.68 Planned Unit Developments

In the RPR zoning district a residential PUD is permitted per BMC Table 17.68.B. The Resort Semiahmoo was approved as a PUD prior to adoption of these standards. Thus the uses included in the RSMP are permitted based on the prior approval. Regardless, the application is consistent with the zoning code because pursuant to BMC 17.68, a variety of residential uses are allowed; similar to the application. The following uses are permitted within a residential PUD in the RPR zoning district:

- Single Family Detached
- Accessory Dwelling Units
- Single Family Attached
- Duplex
- Townhouse (a style of single family attached)
- Multi-family

These commercial uses are also permitted the RPR zoning district within a residential PUD per BCM 17.68.120.A:

- neighborhood retail commercial uses intended to primarily serve the residents of the PUD, including:
  - grocery stores,
  - bakeries,
  - pubs,
  - other uses similar in nature and effect
  - drugstores,
  - restaurants,
  - professional offices and services

As noted above, the mix of uses in the Resort Semiahmoo are defined by the RSMP, so this clause in the BMC does not restrict the already-approved uses, but provides us with context for new or different uses.

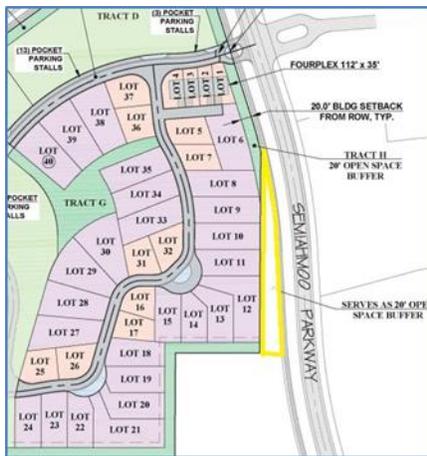
PUD landscape, buffering and setback standards are defined in BMC 17.68.160. As with all aspects of review for PUDs within Resort Semiahmoo, these standards need to be viewed in light of the established guidelines of the RSMP as a prior approval of a PUD for the overall resort. At times, the RSMP and prior approval give greater allowances and flexibility than those within the current standards, and at other times the opposite is true; the RSMP sets reduced allowances and provides less flexibility. This analysis tries to blend the two requirements while staying true to the overall vision of the RSMP.

The dimensions of minimum setbacks from PUD boundaries, setbacks from rights-of-way and private streets, separation of buildings, and PUD buffer areas reserved for landscaping are defined in Table 17.68.F as follows:

Setback from PUD boundary excluding ROW	Setback from ROW	Landscape Buffers	Internal building separation
30 feet	10 feet	20 feet	10 feet

The project design generally complies with the landscape area, buffering, and setback standards for a PUD under the BMC. A 20-foot landscape buffer tract is provided around the project perimeter with some exceptions. In the southwest area, the buffer is larger with some dimensions being near 100 feet. In two locations along Semiahmoo Drive, stormwater tracks occupy a portion of the buffer. These stormwater tracks will be vegetated and will serve a comparable screening/buffering purpose. A 30-foot setback is provided along all perimeter boundaries except as noted in the following paragraph.

**Figure 5**  
Southeast Project Edge



On the eastern boundary adjacent to Semiahmoo Parkway there is a unique situation where a narrow strip of land exists between the site and the parkway (Figure 5). This strip is about 40 feet wide at the widest point and tapers to a point. This strip of land occupies about 40-percent of the total project frontage on Semiahmoo Parkway. The parcel is effectively undevelopable due its narrow width and overall development restrictions. It is held under separate ownership (i.e. not owned by the project proponent). The project proponent proposes that this strip of land be permitted to serve as a buffer to the parkway and that the project not be required to provide a second buffer which in essence would be a buffer to a buffer. With this exception, the project design complies with the landscape area, buffering, and setback standards for a PUD under the BMC. A finding or condition of approval should address the missing buffer and strip of land along the parkway. In staff’s opinion the request

seems reasonable because the land serves the purpose intended.

BMC 17.68 Planned Unit Developments also contains the following standards (summarized):

- Landscape plantings and other screening shall provide a minimum of five-foot perimeter landscaping areas separating the development site from adjoining properties.
- Landscaping shall also be consistent with the requirements of Chapter 17.126 BMC, Landscaping.
- A detailed landscaping plan shall be submitted for review after PUD approval.
- No building, parking, outdoor storage or access drive shall extend into a required buffer area. Maintenance responsibilities for the PUD buffer shall be clearly identified in the CC&Rs.
- All PUD buffer restrictions shall be clearly noted on the final plat or other legal document to advise potential lot purchasers/residents.
- Buffers shall not be included in single-family residential lots, and shall be separate tracts when not included on common area.

BMC 17.68.080 contains the PUD criteria for approval. The city may approve a PUD application only if it finds that certain requirements have been met. In Semiahmoo, an overall PUD has already been approved, thus many standards are already satisfied. For example, the zoning allows a certain density of housing and allows for mixed housing types, but the mix of housing types, density, location and overall housing numbers for Semiahmoo Zone 3 have already been approved under the RSMP.

The section below contains the summarized criteria for approval per BMC 17.68.080 (indented sections). Commentary by staff regarding compliance or non-compliance is provided in *italic boxes*.

Design. The PUD represents a more creative approach to the unified planning of development and incorporates a higher standard of integrated design and amenity than could be achieved under otherwise applicable zoning district and subdivision regulations, and solely on this basis modifications to the use and design standards established by such regulations are warranted.

*The city has previously determined that the Semiahmoo development meets this design requirement, by creating various discrete neighborhoods that capitalize on the surroundings and the terrain, by preserving forests and open space areas, by guaranteeing public beach access, and numerous other design elements such as mixing housing types, mixing lot size and setting strict building and landscape design standards. This project generally complies with the RSMP as one of the more dense housing locations as well as one of the commercial locations called for in the plan. It maintains the strict residential and landscape designs that the overall master plan area has adopted.*

Comprehensive Plan. The PUD is generally consistent with the objectives of the city comprehensive plan as viewed in light of any changed conditions since its adoption.

*The RSMP is adopted as a component of the Comprehensive Plan; as such a project that is consistent with the RSMP is by definition consistent with the Comprehensive Plan. As discussed herein, there is some variation from the RSMP, such as the change from all multi-family to a mix of multi-family and single family, but generally the project complies with the design concepts of the RSMP.*

Compatible with Environs. Neither the PUD nor any portion thereof will be injurious to the use and enjoyment of other properties in its vicinity, substantially impair property values or environmental quality in the neighborhood, nor impede the orderly development of surrounding property.

*The project is substantially compliant with the RSMP and thus should be determined to not impede the orderly development of surrounding property, and as a planned part of the overall Semiahmoo neighborhood its effect on property values should be negligible. Mixed use development on the site will change the area from forested to mostly developed, but that is the planned use of the site and the development pattern is typical of other neighborhoods in Semiahmoo.*

*Some might view this project as injurious to the use and enjoyment of other properties, but that could be said of any one of the Semiahmoo neighborhoods when compared to the natural undeveloped state. The project should be viewed in comparison to the RSMP-planned use, and not the natural forested state, and the RSMP shows the property as a mixed use site integrated into the overall fabric of the Semiahmoo development.*

Natural Features. The design of the PUD is as consistent as practical with the preservation of natural features of the site such as stands of mature trees, steep slopes, natural drainage ways, wetlands, or other areas of sensitive or valuable environmental character.

*The site contains no wetlands, steep slopes, or drainage ways. Forest and mature trees are present on the site. Clearing should be limited so that it occurs in a phased manner as development progresses and trees and natural vegetation should be preserved, not only in the open space areas, but on all properties that allow for preservation. Tree retention is a fundamental component of the Semiahmoo CC&R's. This site will most likely include more overall tree removal than some subdivisions because of the higher density of development.*

Circulation. Streets, sidewalks, pedestrian ways, bicycle paths, off-street parking, and off-street loading as appropriate to the planned land uses are provided. They are adequate in location, size, capacity, and design to ensure safe and efficient circulation of pedestrians, automobiles, trucks, bicycles, fire trucks, garbage trucks, and snow plows as appropriate without blocking traffic, creating unnecessary pedestrian-vehicular conflict, creating unnecessary through traffic within the PUD, or unduly interfering with the safety or capacity of adjacent streets.

*The project includes street cross sections and pedestrian facilities that meet the standards of the RSMP with some modernization based on newer City-adopted standards. These facilities will provide the necessary access and circulation. Layout of roads and intersection with other City streets meet design standards. One item voiced as a concern by some has been the construction of an access road opposite to Gleneagle Drive. A crossroads is a standard design and is the preferred way to manage traffic flow. This new road will create a 4-way intersection, which is supported by the City's engineers and is essentially required by City standards.*

*The transportation study for the project indicates the 4-way intersection will cause a slight delay in the future. The study compares the traffic delay at the Gleneagles stop sign under the future condition w/o the project to the future condition with the project. The analysis shows an 11 second delay w/o the project in year 2020 and a 14 second delay with the project in 2020; a 3 second difference. It is staff's assessment that this is negligible. Over time, it is unlikely that current or future residents will even be able to perceive the three-second difference. The study finds that there is no change in the traffic flow rating at this intersection by developing the project.*

Open Space and Landscaping. The quality and quantity of public and common open spaces and landscaping provided are consistent with the higher standards of design and amenity required of a PUD. The size, shape, and location of a substantial portion of total public and common open space provided in residential areas render it usable for recreation purposes.

1. Open space between all buildings is adequate to allow for light and air, for access by fire-fighting equipment, and for privacy where walls have windows, terraces, or adjacent patios. Open space along the perimeter of the development is sufficient to protect existing and permitted future uses of adjacent property from adverse effects from the development.

*The project has a well-developed landscape concept that is compliant with the RSMP guidelines. It focuses on native plants and compatible ornamentals. A more specific landscape plan should be required to illustrate a typical application of the landscape concepts. This will guide landscaping on residential lots. Specific landscape plans are required as a part of developing parks, open space tracts and commercial sites, so those will be created when those particular lots are improved.*

*The project proposes 5-foot side yard setbacks which will create 10-foot spacing between buildings (at a minimum). In most instances there will be greater spacing simply due to design of buildings. On certain lots, zero setbacks are proposed to allow for buildings to group or pair housing units, but maintain fee simple land ownership. This allows townhouses and paired housing construction.*

*Open space amenities are proposed in the project plans at a level required by code (1 major amenity and 2 minor amenities). However, it is not clear how those are achieved or that they are provided in Phase 1 as they should be. This should be clarified and required as a condition of approval.*

Covenants. Where individual parcels or condominiums are to be later sold, adequate provision has been made in the form of deed restrictions, homeowners or condominium associations and bylaws or CC&Rs all in a form approved by the city, for the preservation and maintenance of any open spaces,

thoroughfares, utilities, water retention or detention areas, and other common elements not to be dedicated to the city or another public body, including such control of the use and exterior design of individual structures, if any, as is necessary for continuing conformance to the PUD plan. Such a provision must be binding on all future ownership.

*The applicant has proposed CC&R's for the project which create management protocols for the project. They also adopt the Semiahmoo Resort Association (SRA) architectural controls. The draft CC&R's cover development, landscaping, maintenance, utilities, private openspace and streets, building specifics (height, setback and design), and organization structure and management. The CC&R's will need to be finalized and certain conditions of approval will require changes and additions.*

Public Services. The land uses, intensities, and phasing of the PUD are consistent with the anticipated ability of the city, the school districts, and other public bodies to provide and economically support police and fire protection, water supply, sewage disposal, schools, and other public facilities and services without placing undue burden on existing residents and businesses.

*These lands uses are specifically what the City and service providers expect for development of this site. Certain fees will be applied to development to ensure adequate facilities. The project, once constructed, will also increase the tax base. A SEPA (State Environmental Policy Act) mitigation fee is applied through the MDNS (Mitigated Determination of Non-Significance) for fire and emergency services. Park and transportation impact fees will be paid. General facility fees will be paid for water, sewer, and stormwater. A connection fee applies to electric as well. These all contribute to ensuring adequate services are available.*

Phasing. Each development phase of the PUD shall, together with any phases that preceded it, exist as an independent unit that meets all of the foregoing criteria and all other applicable regulations herein even if no subsequent phase should ever be completed. The provision and improvement of public or common area improvements, open spaces, and amenities, or the provision of financial sureties guaranteeing their improvement, is phased generally proportionate to the phasing of the number of dwelling units or amount of non-residential floor area.

*The project is proposed for phasing. Phase 1 includes 40 residential units and a commercial facility. Future phases will include additional residential units, mixed-use commercial, a potential park, and private openspace. A condition of approval addresses openspace to ensure that facilities are provided equitably in comparison to the residential units built.*

As discussed above, in this section, the project meets most of the criteria as designed and proposed. Minor changes and clarification that will be mandated through conditions of approval will ensure that the project meets the municipal code requirements.

#### BMC 17.68.120 Residential PUD Standards

The following section includes analysis of the residential PUD standards as defined in BMC 17.68.120. As discussed above, in some instances interpreting these on a site-specific basis is challenging in the Resort Semiahmoo, because the PUD approved for the overall resort and the RSMP was done under an earlier version of the municipal code, and all aspects of the previous PUD requirements were already satisfied under that prior approval. Nonetheless, we do evaluate projects under the new PUD to measure compliance with the current standards.

As in the section above, the excerpts from the code are indented below, and the staff commentary is provided in italicized boxed sections.

Uses Permitted.

1. Any residential use or mixture of residential uses, excluding manufactured and mobile homes, as permitted under BMC 17.68.030.
2. In the RPR (Residential Planned Recreation) and PR (Planned Residential) districts, neighborhood retail commercial uses intended to primarily serve the residents of the PUD, including grocery stores, drugstores, bakeries, restaurants, pubs, professional offices and services including barbershops, beauty shops, and day care services and uses similar in nature and effect. Such uses shall be limited to a maximum of 10 percent of the site area and in no case shall exceed five acres in size, except as permitted by an approved Master Plan or Sub-Area Plan.
3. Churches, clubhouses, schools and other similar public gathering places.

*The project includes a mix of residential uses (single family, attached single family, multi-family in a mixed-use commercial/residential building, and a mix of single and multi-family in future phases). These are all permitted in a residential PUD. The project proposes between 78 and 119 units at final build-out.*

*Commercial uses include an indoor personal storage facility and a mix of neighborhood services, which is consistent with the RSMP. The RSMP calls for “retail space for groceries, personal needs and gifts” as well as “a service station, small offices and restaurants” and goes on to mention a variety of civic uses. The RSMP also calls for RV storage and another parking lot on the site, and notes that if these items are not needed that the property can be “redesignated for residential, commercial, or public uses with the approval of the city.” Therefore, other uses are not precluded. (RSMP pgs. 5.7 and 5.8)*

Permitted Density. Density shall be allowed as determined by Table 17.68.E plus density bonuses as may apply.

*Density for the site is defined by prior PUD approval as contained in the RSMP. Density is defined as 10-12 units per acre, with a range of 114-136 units. Additional units could be permitted by the City pursuant to the RSMP’s phrasing of “redesignated for residential, commercial, or public uses with the approval of the city” noted above.*

Lot Sizes. Lot sizes within the residential PUD may be reduced in area; however, no lot may be smaller than 4,000 square feet. This restriction shall not apply to designated zero setback lots.

*The project does not contain any residential lots under 4,000 SF except for zero setback lots as permitted.*

Open Space All residential PUDs shall contain usable open space equal to at least 15 percent of the total site area exclusive of critical areas and buffers. Where critical areas or buffers are included in a residential PUD, open space may be reduced one square foot for every four square feet of protected critical area and/or buffer. Recreational amenities shall be provided in an amount appropriate to the size and characteristics of the anticipated residential population of the PUD.

*Open space was set aside with the approval of the Resort Semiahmoo. The original Semiahmoo PUD set aside 22-percent, or 165 acres of the developable uplands area as the golf course, and significant acreage was dedicated to the City as public access tidelands. There is also a well-established trail system already in place which fronts the project on two sides. During review of the Muirfield PUD, it was determined that the allocation of open space in the original Resort Semiahmoo approval satisfies the 15-percent requirement. However, that precedent also established that each project shall further the preservation of open space by setting aside buffers and community use area such as trails and either public or private parklands.*

*The Zone 3 project will set aside 16,657 SF of usable open space in Phase 1 with a total of 126,259 SF of usable open space and buffers. This represents 15-percent of the total project area (844,166 SF).*

**Recreational Amenities.** PUDs shall include a minimum of one minor amenity for the first one to 20 dwelling units, and one additional minor amenity for each additional 20 units. PUDs shall include one major amenity when unit count reaches 40 dwelling units, and shall provide one additional major amenity for each 40 additional units.

*The project proposes to create a trail through the open space, a community garden, and install interpretive signage. These are one major and two minor amenities and serve the first 40 units. It is not clear, however, where the community garden is located and that should be clarified by the applicant. Staff encourages that interpretive signage to be located on the project perimeter, along the Semiahmoo Parkway and Semiahmoo Drive frontage where it will create the greatest benefit, serving residents of this project as well as others in the area and visitors.*

**Lot Configuration.** Lots within a residential PUD may vary from the depth, width and size requirements established in the code for the underlying zoning district, as determined to be suitable for the proposed PUD subject to the standards of this chapter.

*This is a permissive statement and the project does vary lot sizes and shapes. The smallest single family lot is 4,348 SF. The largest is 8,650 SF. Zero setbacks lots for townhouses and paired single-family are generally smaller at about 2,000 SF to 4,000 SF. The RSMP provides guidance on pages 5.12 and 5.13 for lots types, but it does not prescribe lot sizes. It speaks more completely to lot configuration over pages 5.14 – 5.21, but generally gives guidelines for neighborhood design rather than defining lots sizes.*

*It is staff's assessment that provided the project does not exceed the density of 10-12 units/acre or the total number of units (136), the project is complaint with the RSMP subject to City Council review and approval of the project. For many people, single family homes are preferred housing types and generally they are more accepted by nearby neighbors than multi-family housing. Frequently, neighbors prefer single-family development over multi-family development, so providing for smaller lots and townhouse-style development may be a good alternative to multifamily development. It helps to achieve some of the density approved in the RSMP, while also allowing for fee-simple land ownership.*

## **PUBLIC COMMENT**

The PUD review process requires a community meeting prior to submittal. The proponent hosted the required meeting at the Resort Semiahmoo and held a prior meeting, to receive early input at the Cannery Lodge. The meeting summary is available for review in the project materials. As part of the review process a notice of application is posted, published and mailed. Those comments and a summary report are included in Attachment D. Any additional comments received prior to the meeting will be provided to the Commission.

## **FINDINGS OF FACT**

Findings of fact have not been developed at this time. Staff will provide those for Commission consideration after the public hearing.

## **RECOMMENDATION**

The public hearing may develop additional information and the SEPA comment period remains open (closing on Friday, August 26, 2016), as such, staff does not have a final recommendation to the Commission at this time. Staff encourages the Commission to consider the public testimony and any new information developed at the hearing. In addition, staff requests that the Commission hold open the public hearing for written testimony until Monday, August 29, 2016. This will allow anyone to draft a letter and

provide it after the meeting. It will also allow staff to finalize the SEPA threshold determination and enter it into the record.

Staff further suggests that the Commission forward the item to a committee of the whole to be considered in a study session on Thursday, September 8, 2016. Staff will provide a summary of the comments received during the open public hearing prior to the study session.

To summarize, staff requests that the Commission consider a motion to:

- Close the public hearing for oral testimony but hold open the hearing for written testimony until the close of business on Monday, August 29, 2016, and
- Forward the item to a committee of the whole to be considered in a study session at 5:30 p.m. on Thursday, September 8, 2016.

Based on these actions, staff will include the item on the Planning Commission agenda for the regular meeting on Thursday, September 8, 2016 at 7:00 p.m.

### **PRELIMINARY RECOMMENDATION FOR CONDITIONS OF APPROVAL**

#### General Conditions

- G1. SEPA mitigation measures, as identified in the project SEPA checklist and SEPA Mitigated Determination of Non-Significance (8/12/16) shall be reflected in the project design and civil construction plans, and are hereby made conditions of this approval.
- G2. A complete set of civil engineering plans for the development shall be prepared by a licensed Washington State professional engineer for all required publically served utilities (i.e. sewer, water, stormwater, electric), public and private streets and sidewalks, rights of way and easements, and any required analysis and reports for the site. The civil engineering plans will be submitted to the City, and reviewed and approved by the City Public Works Department prior to issuance of a land disturbance permit.
- G3. The applicant shall obtain a land disturbance permit prior to conducting site work on private property subject to the limitations of the BMC.
- G4. The applicant shall obtain a Right-of-Way Excavation Permit and/or Public Facilities Construction Agreement and post a performance bond for any work on City utilities and infrastructure to the satisfaction of the Public Works Director prior to initiating work on said facilities.
- G5. Any drainage facilities, including required off-site construction, must be designed and installed to the satisfaction of the Public Works Director, and in accordance with current Department of Ecology guidelines, where applicable.
- G6. After construction of infrastructure improvements, as-built drawings shall be submitted to the Public Works Department. The Public Works Department may reject incomplete or inaccurate drawings. In such case, revised submittals will be required.
- G7. The applicant shall post a maintenance bond for any public infrastructure to the satisfaction of the Public Works Director prior to acceptance of public infrastructure by the City.
- G8. Any applicable impact fees shall be paid at the time of Building Permit issuance or as otherwise required by the BMC. (A note to this effect shall be shown on the face of the revised the revised preliminary plat).

G9. The PUD approval shall be valid for the term of the associated preliminary plat. Construction on a PUD must have commenced prior to the expiration of the associated preliminary plat approval. Once construction of a PUD has been initiated, the PUD master plan, and any approved PUD site plan, shall be binding on the property in perpetuity, unless a PUD amendment is processed and approved by the city.

G10. Revise the preliminary plat and PUD plans to reflect all of the conditions of approval that require a physical change to the plans. Submit four (4) full size copies of the revised plans and one (1) 11" x 17" size copy to Community Development Services for final review, approval, and stamping. Copies of the stamped approved plans will be distributed to City Departments, one copy will be provided to the Fire District and one copy will be returned to the applicant.

G11. Responsibility for compliance with other agency requirements shall be solely the applicant's.

#### Specific Conditions

- S1. Develop PUD Master Plan responsive to the conditions of project approval and submit it for Planning Commission review and approval within 180-days of City Council approval of the PUD as per BMC 17.68.090.
- S2. Provide a typical landscape schematic for front and side yards illustrating plant density, mix of trees, shrubs and ground covers and the degree to which landscapes will be wooded versus turf-focused. Incorporate it into the PUD Master Plan making it clear it is an illustrative example and not prescriptive of future landscape plans.
- S3. The community garden shall be added to plans and shall be more clearly defined. Incorporate it into the PUD Master Plan and or the CC&R's explaining its purpose, use and management.
- S4. Include a detailed description of the architectural standards in the PUD Master Plan for use by the City in approving future development. These do not need to be identical or as specific as may be found in the CC&R's but must be compatible.
- S5. Include a trail standard in the PUD Guidebook for trails in the open space and park areas to be a minimum of 5 feet wide, with appropriate subbase added as needed, and a minimum of 4 inches of crushed rock surfacing.
- S6. For buffer landscaping areas the applicant shall prescribe a density of planting and/or amount of obscuring vegetation, and shall incorporate that into the PUD Master Plan.
- S7. The applicant is encouraged to coordinate with the City to install the interpretive signs adjacent to the public trail on the Semiahmoo Parkway/Drive ROW along the property frontage so as to maximize visibility and benefit.
- S8. The bioretention area on Tract E shall be designed and landscaped to be naturalized in appearance, meaning it shall be of a shape and character to appear to be a natural depression, meadow or forest understory, not an excavated basin. It shall be landscaped with native species and ornamentals. It shall not be fenced. A feature that is designed to not pond water at the surface except in extreme events is preferred.

- S9. The stormwater pond on Tract J shall be setback 20 feet from the Semiahmoo Drive ROW to allow installation of the landscape buffer. A gently sloped pond that does not require fencing is preferred. Any required fencing around the pond shall be coated in a dark color and shall be set behind the landscape buffer so as to be screened.
- S10. Clearing shall be phased with project construction. Phase 1 and necessary utility corridors may be cleared subject to this approval, with preservation of trees outside infrastructure corridors and building footprints. Future clearing shall proceed only after approval of a site plan review or preliminary plat for those areas.
- S11. Buffer enhancement planting installation shall occur concurrent to or prior to development of adjacent land uses. This shall occur prior to final plat approval of individual residential lots, or prior to occupancy for multi-family, mixed-use and commercial lots. This may be bonded dependent upon season and weather.
- S12. Finalize CC&R's and submit them for review and approval by the Community Development Director prior to recording.
- S13. The CC&R's shall include the 12 design elements in BMC 17.38.050.B.
- S14. The CC&R's shall be subject to approval by the City prior to Final Plat approval. The CC&R's shall identify responsibilities for maintenance of the wetland/open space areas, water detention and treatment facilities, private drainage infrastructure, private drives and parking areas, landscaping, and other common infrastructure or open space elements of the project. The CC&R's shall contain specific language insuring annual inspection and certification to the city by a registered engineer of the adequacy of the storm water treatment and conveyance system. Any required repair or maintenance shall be the responsibility of the Homeowner's Association
- S15. Open space areas, or other tracts of land not suitable as building lots, together with associated facilities and equipment shall be privately owned and maintained by the Homeowner's Association.
- S16. The 3-foot gravel trail indicated in the project plans adjacent to the private drive(s) shall be widened to a minimum of 4 feet.
- S17. In front of Lots 1-4 and connecting to Semiahmoo Parkway, the 3-foot gravel trail indicated in the project plans adjacent to the private drive shall be widened to a minimum of 4 feet and shall be paved in asphalt or concrete.
- S18. Tract D shall be permitted as a public park, private recreation facility, or residential development subject to a site plan review approved by the City.
- S19. Create a tract for the future private road to allow access to Semiahmoo Drive without requiring a land division, or expand Tract I for same purpose.
- S20. Tract F may be platted into single family and multifamily lots pursuant to this approval provided:  
-Total unit count for the PUD may not exceed 119 units  
-Multifamily tracts shall be designed for a density no greater than 12 units per acre





**CITY OF BLAINE**  
**COMMUNITY DEVELOPMENT SERVICES**

Attachment A

435 MARTIN STREET, SUITE 3000 • BLAINE, WA • 98230  
PHONE: (360) 332-8311 • FAX: (360) 543-9978  
www.cityofblaine.com

**PLANNED UNIT DEVELOPMENT**  
Application

<b>FOR OFFICE USE ONLY</b>	
	June 27, 2016
Application #	PUD-2-16
STAMP IN DATE	

Project Name: Resort Semiahmoo Zone 3

*Applications that are incomplete (i.e., that do not include all of the information required below) will be returned.*

**APPLICATION REQUIREMENTS**

- Land Use Master Invoice
- Owner Consent Form required if application is not signed by owner
- PUD Submittal Documents
  - Draft PUD Master Plan
  - PUD Site Plan
  - Draft CC&R's
- Site Plan Review, Short Plat, or Preliminary Plat Application as applicable for proposed development
- SEPA Checklist unless SEPA exempt

**Site Plan, Short Plat or Preliminary Plat** submittals shall meet the requirements of the Blaine Municipal Code Section 17.66 and/or Section 17.07. Development proposals that divide the land to create lots shall utilize a short plat or long (preliminary plat) as applicable. Development proposals that do not divide the land to create lots shall use a site plan review.

Planned Unit Development (PUD) submittals shall meet the requirements of Blaine Municipal Code Section 17.68.

**A draft PUD Master Plan.** "PUD master plan" means a bound document composed of text, photos, drawings, design plans, and specifications that describes the development concept for a PUD and provides enough information to determine if subsequent land development, grading, landscaping, and building plans are consistent with the approved PUD. The PUD master plan shall provide written descriptions and/or typical or conceptual illustrating examples of items that are impractical to illustrate to the detail required in the PUD site plan.

The draft PUD Master Plan shall include:

Conceptual Streetscape Plan – At a minimum the streetscape plan shall include detailed street cross-sections illustrating dimensions and design of all walking, cycling, driving, and surface drainage and landscape features. Text and other elements such as photographs of example streets shall be used to augment the cross-sections as needed to adequately illustrate the design concept proposed. This applies to new or improved public and private streets.

Preliminary Landscape Plan – At a minimum the landscape plan shall include detailed planting plans illustrating plant species, plant size, spacing dimensions, mulch and ground cover, planting specifications

and integration of all site elements such as buildings, trails, walkways, roads and parking facilities. A text list of plant species (common and scientific name) and other elements such as photographs of example landscape beds and treatments shall be used to augment the drawing as needed to adequately illustrate the design concept proposed.

Preliminary Open Space and Trail Plan – At a minimum the open space and trail plan shall illustrate the proposed recreational amenities including passive recreation amenities such as open space areas. All required elements such as those defined in BMC Table 17.68.D shall be illustrated and labeled on the plan. Either architectural or engineering drawings, manufacturer’s specifications, or photographs of the elements to be constructed shall be included with adequate detail to clearly define the proposed amenities.

Conceptual Architectural Renderings – Renderings shall adequately demonstrate the style of all residential and non-residential buildings, with greater detail for multiple-family residential, mixed-use and commercial structures and lesser detail for detached single-family dwellings and cottages. Renderings shall typically be color elevation drawings, or color, 3-D perspective drawings. Additional information shall be provided as required by the Department.

**A draft PUD Site Plan.** “PUD site plan” means a scaled and accurate drawing that demonstrates the location of facilities within a PUD including but not limited to buildings/building pads, roads, trails and sidewalks, open space, recreation amenities, and infrastructure. Independently, or in conjunction with a binding site plan or plat, the PUD site plan provides guidance supplemental to the PUD master plan for decisions related to dimensions and location of facilities. To a substantial extent the PUD Site Plan may be a combination of the information on the other drawings described above.

**Preliminary covenants, conditions, and restrictions (CC&Rs)** which clearly describe responsibilities for operation and maintenance of commonly owned elements of the PUD and describe design allowances, limits, and requirements.

**Additional Information**

- A commercial PUD or a residential PUD with commercial components shall include an economic study analyzing the trade area from which the commercial uses will draw the customer base necessary to support the commercial components, and the current and future feasibility of the commercial components of the PUD;
- Additional reports as determined by the Director necessary to understand the physical impacts of the PUD;
- A written report of the community conference held prior to submittal of the applications;
- Phasing plan, if applicable;
- Density calculations, that demonstrate the permitted and proposed density, and any density bonuses that are used to achieve the proposed density.

**Affidavit**

*The applicant hereby certifies that the statements contained in this application are true and provide an accurate representation of the proposed planned unit development.*

Wayu Scheidt, MANAGING DIRECTOR  
APPLICANT'S SIGNATURE  
Rimland Pacific, Inc

June 24, 2016  
DATE



# CITY OF BLAINE

## COMMUNITY DEVELOPMENT SERVICES

435 MARTIN STREET, SUITE 3000 • BLAINE, WA • 98230  
PHONE: (360) 332-8311 • FAX: (360) 543-9978  
www.cityofblaine.com

### Preliminary Plat Application

#### FOR OFFICE USE ONLY

Application #                      June 27, 2016  
LOP-1-16  
  
STAMP IN DATE

Project  
Name: Resort Semiahmoo Zone 3

*Applications must be completed and recorded the Community Development Services. Applications that are incomplete (i.e., that do not include all of the information required below) will be returned.*

#### APPLICATION REQUIREMENTS

- A completed **Master Land Use Application**. Representative authorization is required if application is not signed by owner.

#### Please prepare the following items for preliminary plat review and approval:

- Subdivision Title Report** -Provide a Title Report current to within 30 days of the date of application.
- Assessor's Map & List of Property Owners**  
Provide an Assessor's Map(s) showing the location of the subject property and all properties, partially or completely within 300 feet of the external boundaries of the subject property. The Applicant must also provide a mailing list of all property owners who are included within the 300-foot radius.
- Legal Description**  
All subdivision applications shall have a legal description of the entire parcel to be subdivided and shall be stamped by a registered land surveyor.
- Vicinity Map**  
A location and vicinity map, drawn to a sufficient scale, that clearly locates the proposed project in relation to streets, intersections, other rights-of-way, natural features and other prominent landmarks.
- Existing Conditions Plan**  
An existing conditions plan, that extends at least 50 feet beyond the boundaries of the subject site and is accurately drawn to 1" = 20', 30' 40' or 50' scale, shall include the following information:
  - A professionally prepared topographic map based upon a site survey delineating existing contours at no less than five-foot intervals, and which locates all surface water features streams, wetlands and marine waters, along with their associated ordinary high-water lines and/or required setback/buffers, location of drainage patterns and drainage courses, and other critical environmental areas, such as unstable slopes, slopes in excess of 15%, 100-year floodplain and significant wildlife habitat;
  - The site size, dimensions and orientation relative to north;
  - The location of existing structures and other improvements on the site, including but not limited to buildings, fences, landscaped areas, culverts, in ground and above ground storage tanks, pedestrian walkways and areas, bikeways, bridges, roads, streets and other internal circulation, parking, loading, open space and utility structures and lines, including fire hydrants; and
  - The location and dimensions of existing easements.
- SEPA Environmental Checklist**  
A completed and signed SEPA Environmental Checklist, if applicable.

**Sign Plan (if applicable)**

If applicable and proposed at time of site plan submittal, the sign plan shall include to-scale details of existing and proposed signs that are in accordance with Chapter 17.122, BMC, the Blaine Design Guidelines and Sign Ordinance Supplement and the provisions of the Resort Semiahmoo Master Development Plan; include their location and type (e.g. fascia, freestanding, etc.). Please note that a separate Sign Permit is required.

**Preliminary Plat Map**

The preliminary plat map, prepared and certified by a land surveyor registered by the State of Washington, shall be drawn to the same scale as the existing conditions plan and shall include the following:

- The location and dimensions of proposed lots, streets and other rights-of-way and public or private access and/or utility easements on and adjoining the site;
- All areas, if any, to be preserved as buffers or to be dedicated or temporarily reserved for a public, private or community use or for open space;
- An accurate and complete legal description of the subject property;
- Critical Areas pursuant to Division Five, of the City's Land Use & Development Code;
- Existing structures to be retained on the site and their distance from property lines of the subject site;
- Proposed structures on the site, including fences, etc., and their distance from property lines;
- Summary table which includes, total site area, gross floor area by use, (i.e., manufacturing, office, retail, storage), total lot coverage proposed, including residential density calculations.

**Lighting Plan**

If applicable, the proposed lighting plan shall show all existing and proposed lighting on site and within right-of-ways. Include light sources, patterns and illumination and other design standards, pursuant to the standards as articulated in the City's "Development Guidelines and Public Works Standards".

**Reduced Copies of all Oversized Plans**

If plans submitted are on paper larger than 11" x 17", than a reduced set, 11" x 17" or smaller, shall be provided.

**Engineering Plans**

A complete set of preliminary civil engineering plans pursuant to the City's Code and the City's "Development Guidelines and Public Works Standards", including:

- **Utility Plan(s)**, showing source, location and size of all existing and proposed water, sewer and electrical lines and associated structures adjacent to the subject site and on-site, existing fire hydrants with 100 feet of site, and proposed hydrants off- and on-site.
- **Preliminary Stormwater Plan**, pursuant to the current edition (August 2001) of the Washington State Department of Ecology, Stormwater Management Manual for Western Washington. Adequate calculations for the size of all storm conveyance and treatment facilities, from origin to destination, shall be provided.
- **Erosion & Sedimentation Control Plan** pursuant to the current edition (August 2001) of the Washington State Department of Ecology, Stormwater Management Manual for Western Washington.
- **Conceptual Street Design Plan**, if proposed project requires street improvements, showing location/dimensions of existing and proposed rights-of-way, curbs and sidewalks, storm drains and catch basins, pavement section(s), sewer and water mains, power, street trees and all other elements between the pavement edge and property line.

**Other Applications, Plans, Studies, Etc.**

Other information, such as wetland, traffic, geotechnical or other studies, shall be provided as requested by the Director, including related applications or studies, to show that the development complies with other applicable City Standards.

A Long Plat Permit application fee as set forth in the City of Blaine Unified Fee Schedule.

*The applicant hereby certifies that the statements contained in this application are true and provide an accurate representation of the proposed amendment.*

Wayne Schwandt, Agent Rimland Pacific, Inc.

6-24-16

\_\_\_\_\_  
APPLICANT'S SIGNATURE

\_\_\_\_\_  
DATE

# Resort Semiahmoo Zone 3 PUD and Preliminary Plat Applications'

## *Supplemental Document*

1. Planned Unit Development Application Form (*Rev. New FINAL 9-12*)
  - a. Please see Attachment A.
2. Land Use Master Invoice
  - a. Please see Attachment B.
3. Owner Consent Form
  - a. Please see Attachment C.
4. PUD Submittal Documents
  - a. Draft Resort Semiahmoo Zone 3 PUD Draft Master Plan (Master Plan)
    - i. Project Overview

The Project is located on gently sloping land at a relatively constant 4% rate from its southeast corner to the north and northwest. The prior owner had logged approximately 1/3 of the property in 2013, leaving stands of deciduous and evergreen trees along the perimeter and throughout the interior. The adjacent land uses are the North Whatcom Fire District Fire Station 62 at the southeast corner, Semiahmoo Parkway along the eastern edge (except for a very narrow strip of land between the Project area and Semiahmoo Parkway north of the Fire Station running about half way to the intersection of Semiahmoo Parkway and Semiahmoo Drive), Semiahmoo Drive along the northern edge, and mostly undeveloped rural Whatcom County along the southern edge.

The land has never been developed, but has been logged at different times over the past 100+ years, most recently in 2013. According to a 2006 archeological and cultural survey of the area and property, the site may well have been an area of deer and elk hunting as well as berry and root gathering by Coast Salish Native Americans. However, a thorough physical inspection of the property revealed no artifacts or culturally significant items. As is appropriate in this area of pre-European cultural use, monitoring of ground-disturbing activities will be employed during infrastructure construction. (Please see the Cultural Resource Assessment in Attachment I).

Resort Semiahmoo Zone 3 is the only neighborhood within Resort Semiahmoo that is not physically associated with a major recreational amenity (i.e., the Semiahmoo Golf Course) or marine shoreline access and views (i.e., Boundary Ridge, Semiahmoo Spit, Carnoustie, Drayton Hillside I and II). As such, the site creates an opportunity to connect architecturally to the rest of the Resort Semiahmoo community while providing for (1) uses that would not necessarily be appropriate in other areas of the Resort and (2) the opportunity to moderately freshen the look and feel of the neighborhoods.

Consistent with the general guidelines for development identified in Resort Semiahmoo Master Plan (RSMP 2014), the Project will include residential and commercial uses. The residential uses will include a mix of multi-family (through the use of zero lot-line lots that create duplex and multi-plex style housing options) and single-family housing options as allowed by RSMP 2014 and the Blaine Municipal Code. Commercial uses will be guided by market demand, responding to the needs and desires of Resort Semiahmoo

## **Resort Semiahmoo Zone 3 PUD and Preliminary Plat Applications'** *Supplemental Document*

residents. Suggested commercial and retail uses in RSMP 2014 include: restaurants, general store, recreational vehicle parking, professional offices, and civic services.

In the broader Blaine community there has been significant parks and trail planning and discussion regarding the location of a city park on this property, which is supported to a certain degree in the RSMP 2104 discussion regarding a major recreational center at the northwest corner of the Semiahmoo Parkway and Semiahmoo Drive intersection. However, prior decisions regarding the development of that northwest corner location resulted in the creation of large, single-family lots rather than the anticipated recreational center. Despite this somewhat ambiguous planning direction for the Project, the idea of a larger, area-wide park remains a potential use which will be resolved during subsequent development phases of the Project.

The Project will be developed in phases. It is important to the development that it find a balance among the needs of the marketplace, the desires of the Resort Semiahmoo community, and goals of the owners. Phasing provides the best opportunity for achieving that balance.

Phase 1 construction will include (1) the first 40 lots located in the southeast portion of the site with access from Semiahmoo Parkway, (2) the private roadway and underground utilities tract serving Phase 1, (3) the stormwater management system and tracts serving Phase 1, and (4) the commercial tract in the southwest corner of the site where off-site storage facilities will be constructed.

It is anticipated that there will be 2 or 3 subsequent construction phases on the remaining development tracts that will include housing options, retail and commercial opportunities, and the potential for a city park. Each subsequent phase will be developed and implemented within a public process that invites community input and review, and will have the advantage of responding to the then current market requirements.

The tracts are delineated below:

<u>TRACT</u>	<u>USE</u>	<u>PHASE</u>	<u>DESCRIPTON</u>
Tract A	Commercial	1	Off-site, indoor storage including those sized for RV's and those sized for household possessions in the far southwest corner of the site. Approximately 22,000 sf in 2 to 4 buildings.
Tract B	Residential	Subsequent	Bordering Semiahmoo Drive, with 9 to 18 housing units.
Tract C	Multi-Use	Subsequent	Possible 5,000 sf footprint multi-story with retail-commercial uses on main floor with

## Resort Semiahmoo Zone 3 PUD and Preliminary Plat Applications' Supplemental Document

			commercial and housing on 2 <sup>nd</sup> to 4 <sup>th</sup> floors; 4 to 10 housing units.
Tract D	Park/Residential	Subsequent	Possible city park of 1.3 acres. If a city park is not feasible, residential development of 9 to 12 housing units.
Tract E	Stormwater	1	Stormwater treatment and possible detention for eastern 2/3 of the site.
Tract F	Residential	Subsequent	35 to 40 housing units. In the event the city park is not feasible, a portion of this tract will be used for a neighborhood park.
Tract G	Open Space	1	Supports Phase 1 residential development.
Tract H	Open Space	1	Perimeter and major use separation tract.
Tract I	Private Roadway	1 & Subsequent	
Tract J	Stormwater	1	Stormwater treatment and detention for western 1/3 of the site.

Overall, there is anticipated to be not more than 4 construction phases, with the final phase completed no later than 2021. The estimated total housing count for all phases is between 78 and 119 units.

ii. Conceptual Street Plan

The conceptual local street plans are taken directly from RSMP 2014. The privately owned and maintained streets will reside in their own Tract I. In those areas with parallel “pocket parking”, the ROW is 30’ wide with 22’ drive lanes and 8’ for parking along one side. In those areas without pocket parking, the ROW is 22’. All street ROW’s are augmented by two 10’ utility easements on each side of the street. A 3’ wide gravel path for pedestrians is planned within the utility easement on one side of the ROW. A final decision on whether to include the gravel pedestrian paths will be made before preliminary plat approval.

Wet utilities will be installed under the drive lanes and dry utilities will be installed in the utility easements. Utility providers will be provided with easements for installation and maintenance.

All street and utility construction will follow Blaine Municipal Code (BMC) and WSDOT requirements. The streets will be constructed with 18” concrete aprons to insure lane-edge integrity over time. Sub-surface construction includes a non-woven fabric layer over subsoil, 12” of gravel, 4” of crushed surfacing gravel and 3” of Class B asphalt.

All stormwater runoff from the streets will be collected in periodic manholes. In the 22’ ROW, the drive lanes will be sloped to one side with the 18” “V” edge to capture the runoff and direct it to the manholes. In the 30’ ROW, the 8’ parking area will also be sloped to meet the sloping drive lanes at an 18” “V” curb for directing the runoff to the manholes.

# **Resort Semiahmoo Zone 3 PUD and Preliminary Plat Applications'**

## ***Supplemental Document***

The Resort Semiahmoo Zone 3 Homeowners Association will be responsible for maintenance of the front yard of each residential unit between the private roadway's curb and the front face of each building extending to the side edges of the lot or parcel.

Please see Attachment D, Resort Semiahmoo Zone 3 PUD-Preliminary Plat Drawings' Submittal, Sheet 11 for a detailed schematic of the conceptual street plan.

### iii. Preliminary Landscape Plan

The Preliminary Landscape Plan is divided into 6 broad categories:

#### 1. Buffer

The buffer plant mix is used to augment the existing buffer conditions in Tract H, primarily filling in around the large, mostly evergreen tree stock in the perimeter buffers.

#### 2. Transition

The objective with this buffer planting is to insure a visual barrier between the buildings and the street, especially along Tract A and the housing units closest to the streets.

#### 3. Entry and Accent

In order to make an attractive and inviting entry into the neighborhood, these plantings will be a part of the gate area and along both sides of the roadway as one enters the neighborhood from Semiahmoo Parkway. In addition, as one turns left after entering the neighborhood and continues southerly up the slight incline, the focus will become the accent area at the sweeping curve to the right.

#### 4. Stormwater

The stormwater landscaping plan in Tracts E and J I primarily designed to create the treatment modality for stormwater runoff from the streets. Secondarily, Tracts E and J can serve as detention facilities so the landscaping plan anticipates that, especially in Tract J, the area is available for open space use when not detaining stormwater runoff.

#### 5. Common Area

The primary landscaping plan for the common areas, such as Tract G, will be grass as an inviting area for neighbors to walk and enjoy outdoor yard activities.

#### 6. Existing

To the extent possible, given the need to prepare the site for roadways, utilities and buildings, individual or small groups of trees that will not pose a hazard left in place will remain, especially in Tract G and other open space areas.

Please see Attachment D, Resort Semiahmoo Zone 3 PUD-Preliminary Plat Drawings' Submittal, Sheets 14 & 15 for a schematic of the landscape plan and a list of plant species with representative photographs. Also please see Attachment D Resort Semiahmoo Zone 3 PUD-Preliminary Plat Drawings' Submittal, Sheets 16, 20 & 21 for schematics of plantings relative to buildings and in the buffer along Semiahmoo Parkway and Semiahmoo Drive.

## **Resort Semiahmoo Zone 3 PUD and Preliminary Plat Applications'** ***Supplemental Document***

iv. Preliminary Open Space and Trail Plan

The preliminary Open Space and Trail Plan elements for Phase 1 are with Tract G, where the recreational amenities are located, including an interpretive trail and community garden area. Please see Attachment D, Resort Semiahmoo Zone 3 PUD-Preliminary Plat Drawings' Submittal, Sheet 17.

v. Conceptual Architectural Renderings

Phase 1 Residential buildings will be grouped into three classifications although all will be situated on fee-simple lots. They are:

1. 31 Single-family residences. Most are anticipated to one-story but some will be two-stories when market demands a larger floor area. Single-family homes will range in size from approximately 1,200 sf to 2,400 sf, with building footprints from approximately 1,500 sf to 2,000 sf.
2. Zero Lot-Line Configurations
  - a. 10 Residences in Duplex configuration. These Residences are strategically located in Phase 1 to take advantage of corner locations so that entries and driveways are accessed from different directions. Generally duplex buildings will be smaller, ranging in size from approximately 1,000 sf to 1,200 sf, but may have second stories.
  - b. 4 Residences in Multi-family, Townhouse configuration. These Residences are located immediately to the left as one enters the Resort Semiahmoo Zone 3 neighborhood from Semiahmoo Parkway. The Townhouses will have also have footprints of approximately 1,000 sf, with living areas between approximately 1,000 sf to 1,500 sf in two stories.
  - c. Residences built on zero lot-line lots will be required to have a recorded maintenance and operation agreement between them.

It is anticipated that all Residences will have 2-car garages. Although duplexes and multiplex buildings are considered multi-family, all Residential buildings in Phase 1 will not exceed 35' in height measured from the adjacent, average natural grade. As allowed in RSMP 2014, roofs may be pitched, gabled or shed style.

Recognizing that the Residential building architectural standards were originally promulgated when Resort Semiahmoo was established in the 1980's and that adherence to those architectural standards is a primary reason Resort Semiahmoo has maintained its value over the past thirty years, an appropriate refreshing of those standards to reflect present-day design features without abandoning the values of the past is important to the Project's success. Architectural Standards and Restrictions for the Resort Semiahmoo Zone 3 neighborhood will provide overall guidance, but generally the exterior Residential building materials and color will insure a visual connection to the existing Resort Semiahmoo neighborhoods.

Phase 1 Commercial Storage buildings. Located in Tract A, this area will be developed as condominium units, ranging from room-sized designed for household possessions to garage-size to "man-cave" size capable of indoor storage of large recreational vehicles,

# **Resort Semiahmoo Zone 3 PUD and Preliminary Plat Applications'**

## ***Supplemental Document***

boats or other large possessions. Man-cave size units will include mezzanine areas suitable for individual finishing to meet the needs of the owner.

Tract A is located at the far western corner of the Project. The Storage buildings will be located such that they are effectively screened by enhanced buffers from both the Resort Semiahmoo Zone 3 neighborhood, Semiahmoo Drive and the Boundary Ridge neighborhood. Exterior materials and colors will be similar to those required in the Residential tracts of Resort Semiahmoo Zone 3, with exterior walls of wood or wood-style siding with stone or brick accents. Similarly, roll-up and entry doors will be of wood or wood-style materials. Metal and vinyl siding will not be allowed.

Please see Attachment D, Resort Semiahmoo Zone 3 PUD-Preliminary Plat Drawings' Submittal, Sheets 16, 22, and 23 Residential and Storage Buildings Elevations.

### vi. Site Plan

Information required in the PUD Site Plan is contained in the sheets of the Resort Semiahmoo Zone 3 PUD-Preliminary Plat Drawings' Submittal found in Attachment D.

For an overview of the PUD Site Plan please see Sheet 4 of Attachment D.

Note that the PUD does not extend all the way to Semiahmoo Parkway immediately north of the fire station. The eastern boundary follows the section line between Sections 10 and 11 in Township 40 N Range 1 West from about 47.18' west of the Semiahmoo Parkway ROW along the northern boundary of the fire station property northerly approximately 1,150' where the PUD boundary intersects the Semiahmoo Parkway ROW.

The property, owned by a third party, between the Semiahmoo Parkway ROW and Resort Semiahmoo Zone 3 PUD cannot be developed due to its size and configuration. As a result, the Resort Semiahmoo Zone 3 PUD respectfully requests that this property be identified as meeting the requirement for a buffer between the PUD and the Semiahmoo Parkway ROW.

### b. Covenants, Conditions and Restrictions (CC&R's)

The draft CC&R's for Resort Semiahmoo Zone 3 reflect the multi-faceted improvements the Project will support; residential development, commercial and retail development, and public or neighborhood uses. A second matter of complexity is that within the development tracts of Resort Semiahmoo Zone 3 there are fee lots/parcels and parcels that will be developed with condominium ownership of the improvements. In addition, the relationship between Resort Semiahmoo Zone 3 and the Semiahmoo Resort Association has not been resolved as of this submittal. As a result, the attached draft CC&R's are incomplete. However, it is anticipated that a resolution between Resort Semiahmoo Zone 3 and the Semiahmoo Resort Association will be resolved prior to PUD and Preliminary Plat approval.

Resort Semiahmoo Zone 3 CC&R's will have the same format and character of other Resort Semiahmoo neighborhood CC&R's.

# Resort Semiahmoo Zone 3 PUD and Preliminary Plat Applications'

## *Supplemental Document*

Please see the draft CC&R's in Attachment E.

c. Homeowners' Association (HOA) Bylaws

As with the draft CC&R's, the complexity of the development options for Resort Semiahmoo Zone 3 and the status of discussions with the Semiahmoo Resort Association will result in the draft HOA Bylaws being incomplete at the time of this submittal but final before PUD and Preliminary Plat approval.

Resort Semiahmoo Zone 3 HOA Bylaws will have the same format and character of other Resort Semiahmoo neighborhood HOA Bylaws.

Please see the draft HOA Bylaws in Attachment F.

d. Additional Information

i. Economic Statement

1. Self-Storage

The primary source of information related to a need for self-storage in Resort Semiahmoo Zone 3 comes from private conversations with residents of Resort Semiahmoo.

According to data supplied by the Self-Storage Association, approximately 10% of all households utilize self-storage facilities. In Resort Semiahmoo, there are currently 568 households and an expected 789 within a few years. If the normal distribution of households utilizing self-storage facilities holds for Resort Semiahmoo, there would be a current demand for approximately 56 self-storage units and 79 in the foreseeable future (not including un-platted properties such as Resort Semiahmoo Zone 3). Further, of that potential current demand for 56 self-storage units, approximately 20% would be for recreational vehicle or boat storage. This matches closely to the anticipated build-out of 60 self-storage unit in varying sizes, including 10 large units for recreational vehicles or boats in Tract A during the first construction phase.

2. Multi-Use Building Commercial and Retail

Due to the uncertainty expressed by neighbors and the community over the need for or desirability of a commercial/retail building, and the type/size of uses it would accommodate, Tract C will be developed in a subsequent phase allowing for a more in-depth review of market need.

ii. Additional Reports

1. Traffic Impact Analysis (TIA)

Please see the TIA in Attachment G.

2. Critical Area's Report

# **Resort Semiahmoo Zone 3 PUD and Preliminary Plat Applications'**

## ***Supplemental Document***

A critical area's report was provided for the site in 2009, and refreshed in April 2016. Both reports found no critical areas, including wetlands, on the site.

Please see the critical areas reports in Attachment H.

### **3. Archeological/Cultural Survey and Report**

An archeological/cultural survey and report was completed in 2006. It was determined that since no activity, other than partial logging in 2013, there was no need to refresh the 2006 report. However, the monitoring recommendations made in the 2006 report will be followed for development of Resort Semiahmoo Zone 3.

Please see the archeological/cultural survey and report in Attachment I.

### **iii. Community Conference Report**

The Community Conference held on April 21, 2016 attracted over 90 people to a meeting at Resort Semiahmoo. The primary take-aways from the meeting were:

1. The residents of the Gleneagle neighborhood who attended were concerned about the impact of Resort Semiahmoo Zone 3's main entrance being off Semiahmoo Parkway across from the Gleneagle entrance and the possible location of the multi-use tract being located at that entrance. Those neighborhood residents in attendance preferred an entry further south along Semiahmoo Parkway so that it did not result in an intersection with the Gleneagle entrance. They also preferred a location for the multi-use tract along Semiahmoo Drive.
2. There was no consensus revealed regarding what, if any, commercial or retail uses should be located on the multi-use tract, except that all generally agreed that a gas station was a bad idea. Some were in favor of a coffee shop, convenience store, or professional offices.
3. There was apparent consensus that the site should be cleared in phases so as to not leave large, vacant tracts of land if the project did not proceed.
4. There was a split in whether or not the provision of off-site storage was both appropriate or necessary. Some comments saw the potential value of the concept, but others were concerned about the storage being a source of outsiders coming to the Resort or an attractive opportunity for theft and disturbance.
5. The concept was raised of utilizing a web-based survey tool to determine Resort Semiahmoo residents' desires for commercial and retail uses when the multi-use tract was pursued in a subsequent phase of development.

Please see the Community Conference Report in Attachment J.

### **iv. Phasing Plan**

The Project contemplates 3 to 4 development phases as described in the Project Overview.

Phase 1 construction is anticipated to commence no later than mid-October 2016, and be completed December 2016. Subsequent phasing is dependent on market response to

## **Resort Semiahmoo Zone 3 PUD and Preliminary Plat Applications'** ***Supplemental Document***

the products offered in Phase 1. The developer's interests are in alignment with the concerns of the neighborhoods in sharing a goal of not creating a development that lies fallow for years. Although the phasing plan as contemplated in this submittal will require a similar public process with each phase, it has the highest probability of creating a development that meets the overall objectives of the developer and the community while responding to the needs of the market.

The maximum number of phases is 4, with the second phase projected to commence March 2018 for a 2-month duration. Phases 3 & 4, if necessary, would commence March 2019 and be completed by May 2021.

v. Density Calculations

There are approximately 12.5 acres of land in tracts that are exclusively or partially planned in the Preliminary Plat for residential uses. Using the minimum number of residential units of 78 and the maximum number of residential units of 119, the housing unit density is between 6.24 and 9.5 per acre. This falls directly in line with RSMP 2014's mid-level planned density for multi-family zones of 6 to 10 housing units per acre.

As noted in RSMP 2014, ultimate density is set by the City of Blaine PUD process.

e. Preliminary Plat Application

i. Title Report

Please see the title report in Attachment K.

ii. Assessor's Map & List of Property Owners within 300 feet

Please see Attachment D, Resort Semiahmoo Zone 3 PUD-Preliminary Plat Drawings' Submittal, Sheet 2 Adjacent Property Ownership

iii. Legal Description

Please see Attachment D, Resort Semiahmoo Zone 3 PUD-Preliminary Plat Drawings' Submittal, Sheet 1 Cover Sheet

iv. Vicinity Map

Please see Attachment D, Resort Semiahmoo Zone 3 PUD-Preliminary Plat Drawings' Submittal, Sheet 1 Cover Sheet

v. Existing Conditions Plan

The existing condition of the site is mostly forested with no development or improvements.

Please see Attachment D, Resort Semiahmoo Zone 3 PUD-Preliminary Plat Drawings' Submittal, Sheet 3 Existing Conditions

vi. SEPA Checklist (*Rev 2003*)

Please see Attachment L.

vii. Sign Plan

Signage design and construction specifications for Resort Semiahmoo Zone 3 monument entry signs will follow the guidelines in RSMP 2014.

For location of the entry monument signs, please see Attachment D, Resort Semiahmoo Zone 3 PUD-Preliminary Plat Drawings' Submittal, Sheet 18 Lighting and Signage.

## **Resort Semiahmoo Zone 3 PUD and Preliminary Plat Applications' Supplemental Document**

- viii. Preliminary Plat Map  
Please see Attachment D, Resort Semiahmoo Zone 3 PUD-Preliminary Plat Drawings' Submittal, primarily Sheets 1,2,5,6,7,8,9,10, and 11.
  - ix. Landscape Plan  
Please see Attachment D, Resort Semiahmoo Zone 3 PUD-Preliminary Plat Drawings' Submittal, Sheets 14 & 15 for a schematic of the landscape plan and a list of plant species with representative photographs. Also please see Attachment D Resort Semiahmoo Zone 3 PUD-Preliminary Plat Drawings' Submittal, Sheets 16, 20 & 21 for schematics of plantings relative to buildings and in the buffer along Semiahmoo Parkway and Semiahmoo Drive.
  - x. Parking, Loading & Internal Circulation Plan  
Please see Attachment D, Resort Semiahmoo Zone 3 PUD-Preliminary Plat Drawings' Submittal, Sheet 4 Plat Overview.
  - xi. Lighting Plan  
Please see Attachment D, Resort Semiahmoo Zone 3 PUD-Preliminary Plat Drawings' Submittal, Sheet 18 Lighting and Signage.
  - xii. Land Disturbance Plan  
Please see Attachment D, Resort Semiahmoo Zone 3 PUD-Preliminary Plat Drawings' Submittal, Sheet 13 Site Disturbance Plan.
  - xiii. Reduced Copies of Oversized Plans  
Please see Attachment D.
  - xiv. Engineering Plans
    - 1. Utility Plans  
Please see Attachment D, Resort Semiahmoo Zone 3 PUD-Preliminary Plat Drawings' Submittal, Sheets 11 and 12.
    - 2. Preliminary Stormwater Plan  
Please see Attachment M.
    - 3. Erosion & Sedimentation Control Plan  
A Preliminary SWWP will be prepared with construction permit drawings.
    - 4. Conceptual Street Design Plan  
Please see Attachment D, Resort Semiahmoo Zone 3 PUD-Preliminary Plat Drawings' Submittal, Sheet 11.
  - xv. Additional Reports
    - 1. Traffic Impact Analysis  
Please see Attachment G.
    - 2. Critical Area's Report  
Please see Attachment H.
    - 3. Archeological/Cultural Survey and Report  
Please see Attachment I.
5. Attachment A: Planned Unit Development Application Form (*Rev. New FINAL 9-12*)
6. Attachment B: Land Use Master Invoice
7. Attachment C: Owner Consent Form

## **Resort Semiahmoo Zone 3 PUD and Preliminary Plat Applications'** *Supplemental Document*

8. Attachment D: Resort Semiahmoo Zone 3 PUD-Preliminary Plat Drawings' Submittal, Sheets 1-23
9. Attachment E: Draft CC&R's
10. Attachment F: Draft HOA Bylaws
11. Attachment G: Resort Semiahmoo Zone 3 TIA
12. Attachment H: Resort Semiahmoo Zone 3 Critical Areas Reports
13. Attachment I: Resort Semiahmoo Zone 3 Archeological and Cultural Resources Assessment
14. Attachment J: Resort Semiahmoo Zone 3 Community Conference Report
15. Attachment K: Resort Semiahmoo Zone 3 Title Report and Plat Certificate
16. Attachment L: Resort Semiahmoo Zone 3 SEPA Checklist
17. Attachment M: Resort Semiahmoo Zone 3 Preliminary Stormwater Plan

**Resort Semiahmoo Zone 3 PUD and Preliminary Plat Applications'**  
*Supplemental Document*

**ATTACHMENT 1**

Planned Unit Development Application Form (Rev. New FINAL 9-12)

**Resort Semiahmoo Zone 3 PUD and Preliminary Plat Applications'**  
*Supplemental Document*

**ATTACHMENT 2**

Land Use Master Invoice

**Resort Semiahmoo Zone 3 PUD and Preliminary Plat Applications'**  
*Supplemental Document*

**ATTACHMENT 3**

Owner Consent Form

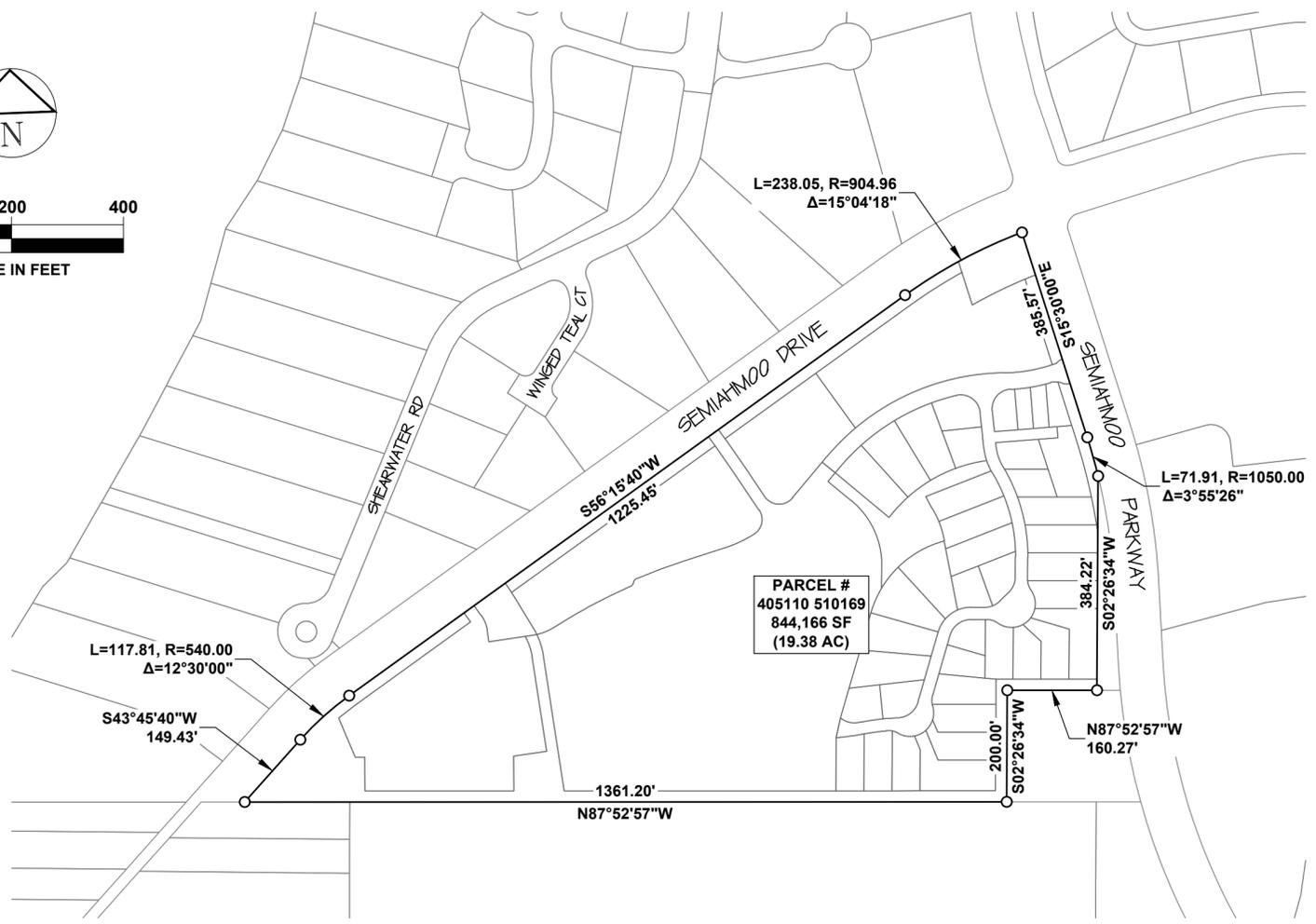
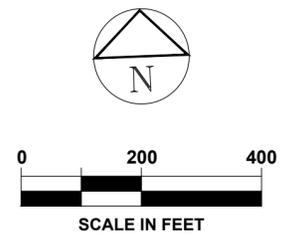
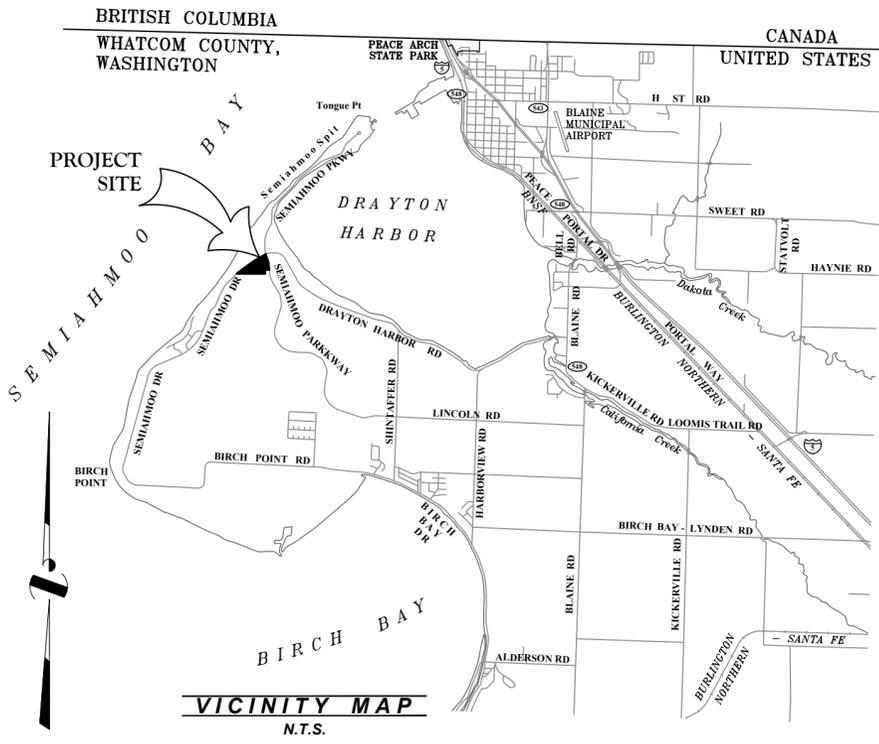
**Resort Semiahmoo Zone 3 PUD and Preliminary Plat Applications'**  
*Supplemental Document*

**ATTACHMENT 4**

# RESORT SEMIAHMOO ZONE 3

## PLANNED UNIT DEVELOPMENT / PRELIMINARY PLAT

A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10, TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M.  
CITY OF BLAINE, WHATCOM COUNTY, WASHINGTON



**SOURCE OF WATER:**  
CITY OF BLAINE WATER AND SEWER DISTRICT

**METHOD OF SEWAGE DISPOSAL:**  
CITY OF BLAINE WATER AND SEWER DISTRICT

**METHOD OF SURFACE WATER DISPOSAL:**  
ON SITE TREATMENT AND CONVEYANCE TO CITY OF BLAINE STORM NETWORK

**OWNER:**  
RAZORHONE, LLC  
501 FERN RD.  
BELLINGHAM, WA 98225-7821  
(360) 303-3285

**ENGINEER:**  
CRAIG PARKINSON  
CASCADE ENGINEERING GROUP, P.S., INC.  
119 GRAND AVENUE, SUITE D  
BELLINGHAM, WA 98225  
(360) 306-8161

**LANDSCAPE ARCHITECT:**  
GREG MURPHY  
ELM ENVIRONMENTS  
911 WESTERN AVE., SUITE 575  
SEATTLE, WA 98104  
(206) 859-6485

**LAND USE:**

PRESENT: - UNDEVELOPED RESIDENTIAL

PROPOSED: - SINGLE FAMILY RESIDENTIAL  
- MULTI-FAMILY RESIDENTIAL  
- COMMERCIAL  
- MULTI-USE

ZONED: CITY OF BLAINE RESIDENTIAL PLANNED RECREATION

**DENSITY CALCULATIONS:**

TOTAL PROPERTY AREA: .....844,166 SF

**AREA IN PRIVATE LOTS:**

NUMBER OF LOTS: .....40  
AVERAGE LOT SIZE: .....5,401 SF  
MINIMUM LOT SIZE: .....2,053 SF  
MAXIMUM LOT SIZE: .....8,650 SF  
TOTAL LOT AREA: .....216,041 SF

OPEN SPACE TRACT AREA: .....126,259 SF  
PRIVATE ROW TRACT AREA: .....39,958 SF  
OTHER TRACT AREA: .....461,908 SF  
TOTAL TRACT AREA: .....628,125 SF

**LEGAL DESCRIPTION:**

THAT PORTION OF GOVERNMENT LOT 2 OF SECTION 10, TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M., LYING WESTERLY OF SEMIAHMOO PARKWAY AND SOUTHERLY OF SEMIAHMOO DRIVE;

EXCEPT SEMIAHMOO FIREHALL SHORT PLAT, RECORDED UNDER AUDITOR'S FILE NO. 910605122.

SITUATE IN WHATCOM COUNTY, WASHINGTON

PARCEL # 405110 510169

- SHEET INDEX:**
- |                                |                                     |
|--------------------------------|-------------------------------------|
| 1. COVER SHEET                 | 13. SITE DISTURBANCE PLAN           |
| 2. ADJACENT PROPERTY OWNERSHIP | 14. LANDSCAPE PLAN                  |
| 3. EXISTING CONDITIONS         | 15. PLANT SCHEDULE                  |
| 4. PLAT OVERVIEW               | 16. LANDSCAPE ELEVATIONS            |
| 5. LOT & TRACT DIMENSIONS      | 17. OPEN SPACE AND TRAILS PLAN      |
| 6. LOT & TRACT DIMENSIONS      | 18. LIGHTING AND SIGNAGE            |
| 7. LOT & TRACT DIMENSIONS      | 19. STREETScape PLAN                |
| 8. LOT & TRACT DIMENSIONS      | 20. STREETScape SECTIONS            |
| 9. LOT & TRACT DIMENSIONS      | 21. STREETScape SECTIONS            |
| 10. LOT & TRACT DIMENSIONS     | 22. RESIDENTIAL BUILDING ELEVATIONS |
| 11. ROAD SECTIONS              | 23. STORAGE BUILDING ELEVATIONS     |
| 12. UTILITY LAYOUT             |                                     |

**AUDITOR'S CERTIFICATE**

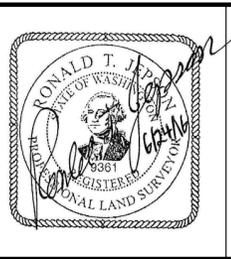
Filed for record this \_\_\_\_ day of \_\_\_\_, 20\_\_ at \_\_\_\_  
in official records under Auditor's File Number \_\_\_\_

at the request of \_\_\_\_\_

\_\_\_\_\_  
County Auditor

**CASCADE**  
ENGINEERING GROUP, P.S., INC.

119 Grand Avenue, Suite D (360) 306-8161  
Bellingham, Washington 98225



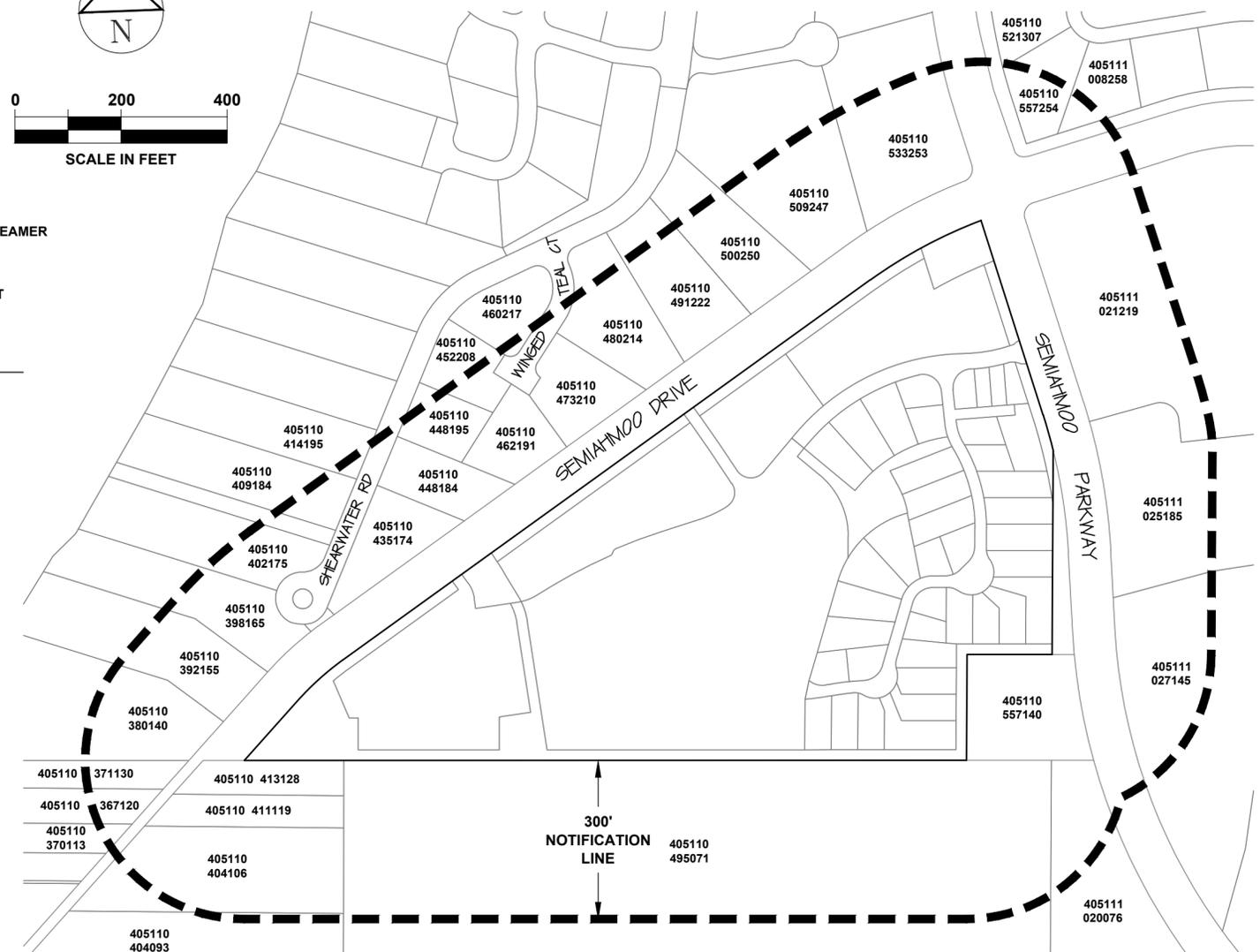
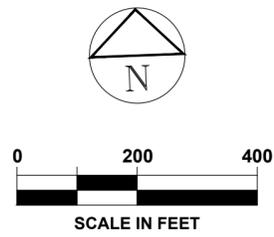
**RONALD T. JEPSON & ASSOCIATES, P.S.**  
CONSULTING ENGINEERS, LAND SURVEYORS  
AND ENVIRONMENTAL SERVICES

SITUATE IN A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10, TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M., CITY OF BLAINE, WHATCOM COUNTY, WASHINGTON

<b>COVER SHEET</b>		
PLANNED UNIT DEVELOPMENT FOR M-KOV, INC.		CASCADE JOB#: RAZROO1
DRAWN BY: ELR	DATE: 6/24/2016	JEPSON JOB#: 16064
CHECKED BY: RTJ	SCALE: AS SHOWN	SHEET: 1 OF 23

# RESORT SEMIAHMOO ZONE 3 PLANNED UNIT DEVELOPMENT / PRELIMINARY PLAT

A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10, TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M.  
CITY OF BLAINE, WHATCOM COUNTY, WASHINGTON



**ADJACENT PROPERTY OWNERS:**

405110 367120	SHERON M PICK 3/4 & ROY PICK 1/4 5900 FERRY RD UNIT 41 LADNER, BC V4K 5C3
405110 370113	JAMES K & FRYTH E RASAR 8985 SEMIAHMOO DR BLAINE, WA 98230-9516
405110 371130	397200 BC LTD 7376 HUDSON ST VANCOUVER, BC V6P 4L2
405110 380140	JAMES E THOMPSON 5531 CANVASBACK RD BLAINE, WA 98230-6303
405110 392155	WALTER B & JOANNE C LOCKWOOD 9007 SHEARWATER RD BLAINE, WA 98230-5705
405110 398165	RONALD L-C JANE GRAHAM FAMILY TRUST/TR 9017 SHEARWATER RD BLAINE, WA 98230-5705
405110 402175	0693473 BC LTD 416 SELMAN ST COQUITLAM, BC V3K 6H8
405110 404093	RONALD H & GWENDOLYN A PENNER 2557 LAKERIDGE DR FERNDAL, WA 98248-8718
405110 404106	D BRUCE & ERNEST E & JENNIFER L LAMKA & CAROLYN B LAMKA-MCCARTHY 4804 BRIDLE TRL SANTA ROSA, CA 95409-4207
405110 409184	COHENOUR FAMILY TRUST JASON W & DANA L COHENOUR TR 9035 SHEARWATER RD BLAINE, WA 98230-5705
405110 411119	MARY LEE ALLISON REV TRUST/TR 26 LOVELL ST NASHUA, NH 03060-6437
405110 413128	MARY LEE ALLISON REV TRUST/TR 26 LOVELL ST NASHUA, NH 03060-6437
405110 414195	ROBERT & JOYCE BEAUPRE 9045 SHEARWATER RD BLAINE, WA 98230-5705
405110 435174	COOPER LIVING TRUST DONALD C COOPER & MARNA L BARR-COOPER/TR 9839 BARTLEY CT FREDERICKSBURG, VA 22408-9227
405110 448184	GEORGE & SHARON G OLDAKER 9042 SHEARWATER RD BLAINE, WA 98230-5705
405110 448195	9048 SHEARWATER LLC 414 W SUMNER AVE SPOKANE, WA 99204-3655
405110 452208	CARTER & JACQUELINE MILLER TRUST/TR 9054 SHEARWATER RD BLAINE, WA 98230-5705
405110 460217	GARY A & JUDITH M ODERKIRK 9056 SHEARWATER RD BLAINE, WA 98230-5705
405110 462191	GEORGE W CATON 414 W SUMNER AVE SPOKANE, WA 99204-3655
405110 473210	DEREK & CATHERINE M ORAM 9056 WINGED TEAL CT BLAINE, WA 98230-5729

405110 480214	GAVIN 2006 TRUST WILLIAM-THERESA GAVIN TR 1535 EMORY ST. SAN JOSE, CA 95126-2018
405110 491222	WILLIAM D & CHRISTINE DAVIDSON 9062 SHEARWATER RD BLAINE, WA 98230-5705
405110 495071	NANCY S MORTON 3950 SW LOWELL LN PORTLAND, OR 97239-4113
405110 521307	MARILYN S BURKE & DIANA B SMITH 48 WINDWARD DR BELLINGHAM, WA 98229-7949
405110 500250	JERRY V THOMAS 702 KENTUCKY ST. #722 BELLINGHAM, WA 98225-4200
405110 509247	JON F & SUSAN J RITTMUELLER 1441 ISLAND VIEW DR BELLINGHAM, WA 98225-8539
405110 521307	ELIZABETH FLANNERY 5085 DRAYTON HARBOR RD BLAINE, WA 98230-9324
405110 533253	CHRISTINA XING 5640 COLVILLE RD RICHMOND BC V7C 3E8
405110 557140	WHATCOM CO FIRE PROTECTION DIST NO 21 4142 BRITTON LOOP RD BELLINGHAM, WA 98226-9481
405110 557254	MARY LEE WEBB & REBECCA JO HOLMES JT 9111 PINTAIL LOOP BLAINE, WA 98230-5719
405111 008258	OCTAVIA LOPEZ TRUST ALEXANDER MAZURKEWYCZ & HANNA MAZURKEWYCZ TR 9109 PINTAIL LOOP BLAINE, WA 98230-5719
405111 020076	ROLF G & LINDA HAUGEN 507 BROOKFIELD CT LYNDEN, WA 98264-1052
405111 021219	ELIZABETH L BERAN 883 STEVENS ST WHITE ROCK, BC V4B 4X3
405111 025185	STANLEY & MARIA E MONKS 9057 GLENEAGLE DR BLAINE, WA 98230-5720
405111 027145	JAMES P & JANIS W HOLLOWAY 9053 GLENEAGLE DR BLAINE, WA 98230-5720
405111 027145	DONALD C JONES 5231 STONE MOUNTAIN PL RANCHO CUCAMONGA, CA 91737-6826
405111 027145	BILLY R & ANITA S PEARSON PO BOX 482 FERNDAL, WA 98248-0482
405111 027145	COLIN C J & MAVIS C DALZELL 9047 GLENEAGLE DR BLAINE, WA 98230-5720
405111 027145	DOUGLAS G & KAREN A WOODBURY 9043 GLENEAGLE DR BLAINE, WA 98230-5720
405111 027145	SAMUEL W III & BETH R CULLISON 8319 MIDWAY RD DALLAS, TX 75209-2833
405111 027145	GREGORY B & JUDITH WIEDENMAN 9028 GLENEAGLE DR BLAINE, WA 98230-5720
405111 027145	ALAN W OGDEN & PEGGY A RICHTER 9535 SEMIAHMOO PKWY #101 BLAINE, WA 98230-9822
405111 027145	KENNETH & KAREN R SUSSMAN 9027 GLENEAGLE DR BLAINE, WA 98230-5720
405111 027145	GLENN E & MARLEEN K RINKEL REVOCABLE TRUST/TR 9039 GLENEAGLE DR #29 BLAINE, WA 98230-5720
405111 027145	BARRY & DELIA ALBERSTEIN 9198 GREAT BLUE HERON LN BLAINE, WA 98230-9330
405111 027145	DAISUKE D NAKAJIMA PMB 115 HILLSDALE HWY 6663 SW BEAVERTON PORTLAND, OR 97225-1403
405111 027145	MATTHEW & CHERYL K KELLERHALS 10139 NE 62ND ST KIRKLAND, WA 98033-6821
405111 027145	CRAIG ENGELS 313 ISLAND GREEN WAY LYNDEN, WA 98264-9371
405111 027145	JERRY & TAMI VOGEL 3428 W MCLEOD RD #H131 BELLINGHAM, WA 98225-8930
405111 027145	JOHN T & PATRICIA L HORVATICH PO BOX 1421 STOWE, VT 05672-1421
405111 027145	DAVID A HANSON 3994 GLENEAGLE DR #11 BLAINE, WA 98230-5716
405111 027145	JERALD L WILSON 9009 GLENEAGLE DR #13 BLAINE, WA 98230-5720
405111 027145	WEN-TSAN LIN 8998 GLENEAGLE DR #10 BLAINE, WA 98230-5716
405111 027145	TOM & LEZLIE JOHANNESSEN 8992 GLENEAGLE DR #12 BLAINE, WA 98230-5716
405111 027145	MITCHELL L & SANDRA L WEIR 8715 BUFFLEHEAD CT BLAINE, WA 98230-5727

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**CASCADE**  
ENGINEERING GROUP, P.S., INC.  
119 Grand Avenue, Suite D (360) 306-8161  
Bellingham, Washington 98225

**RONALD T. JEPSON**  
REGISTERED PROFESSIONAL LAND SURVEYOR  
STATE OF WASHINGTON

**RONALD T. JEPSON & ASSOCIATES, P.S.**  
CONSULTING ENGINEERS, LAND SURVEYORS  
AND ENVIRONMENTAL SERVICES

SITUATE IN A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10, TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M., CITY OF BLAINE, WHATCOM COUNTY, WASHINGTON

ADJACENT PROPERTY OWNERSHIP PLANNED UNIT DEVELOPMENT FOR M-KOV, INC.			CASCADE JOB#: RAZROO I
DRAWN BY: ELR	DATE: 6/24/2016	JEPSON JOB#: 16064	
CHECKED BY: RTJ	SCALE: AS SHOWN	SHEET: 2 OF 23	

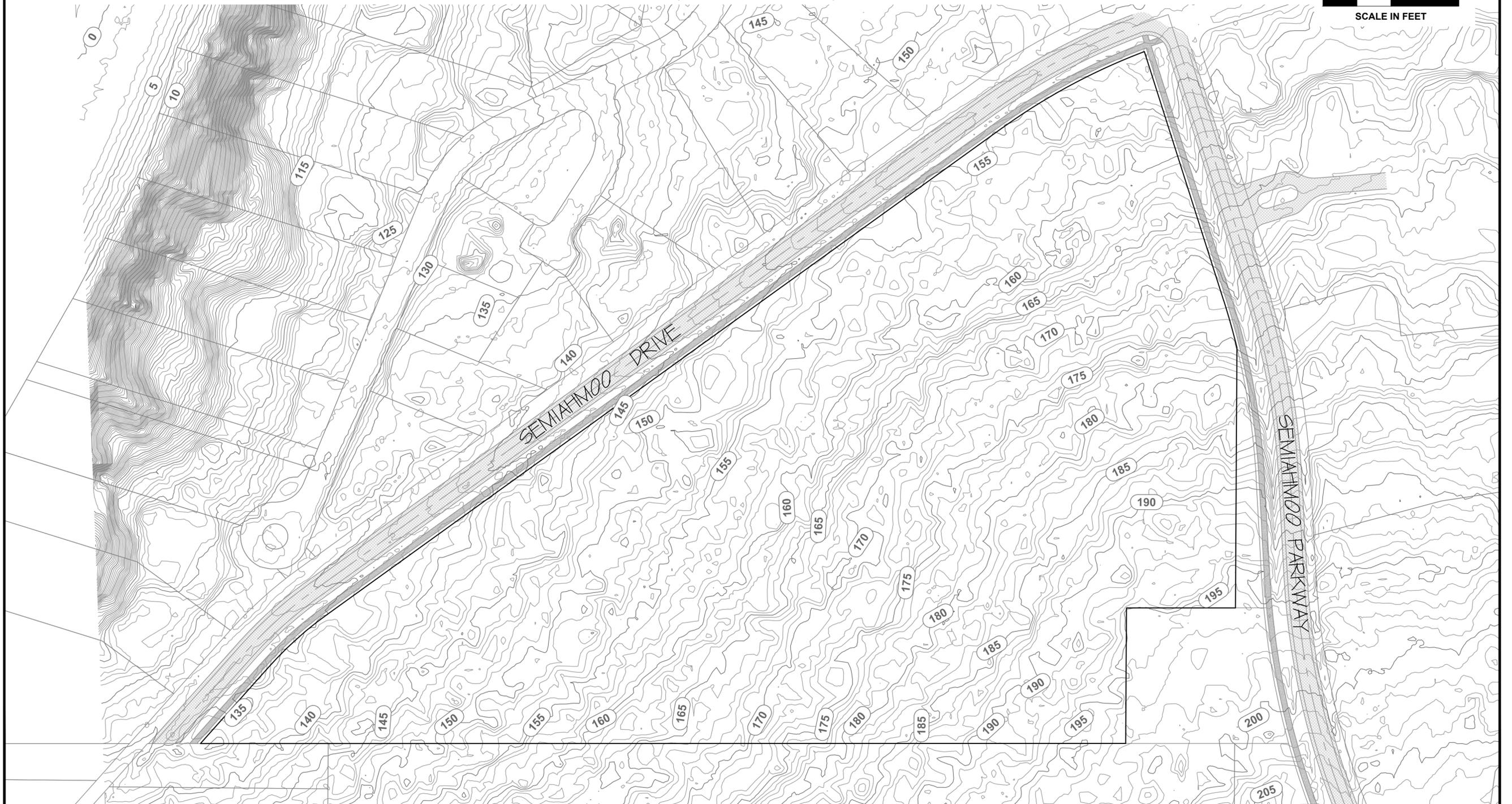
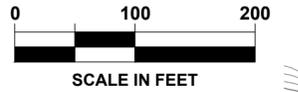
**NOTE:**

**ELEVATION DATA OBTAINED  
FROM USGS NORTH PUGET  
SOUND LIDAR SURVEY 2006**

# RESORT SEMIAHMOO ZONE 3

## PLANNED UNIT DEVELOPMENT

A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10, TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M.  
CITY OF BLAINE, WHATCOM COUNTY, WASHINGTON



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SITUATE IN A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10,  
TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M.  
CITY OF BLAINE, WHATCOM COUNTY, WASHINGTON

EXISTING CONDITIONS PLANNED UNIT DEVELOPMENT FOR M-KOV, INC.		CASCADE JOB#: RAZROO01
DRAWN BY: ELR	DATE: 6/24/2016	JEPSON JOB#: 16064
CHECKED BY: RTJ	SCALE: AS SHOWN	SHEET: 3 OF 23

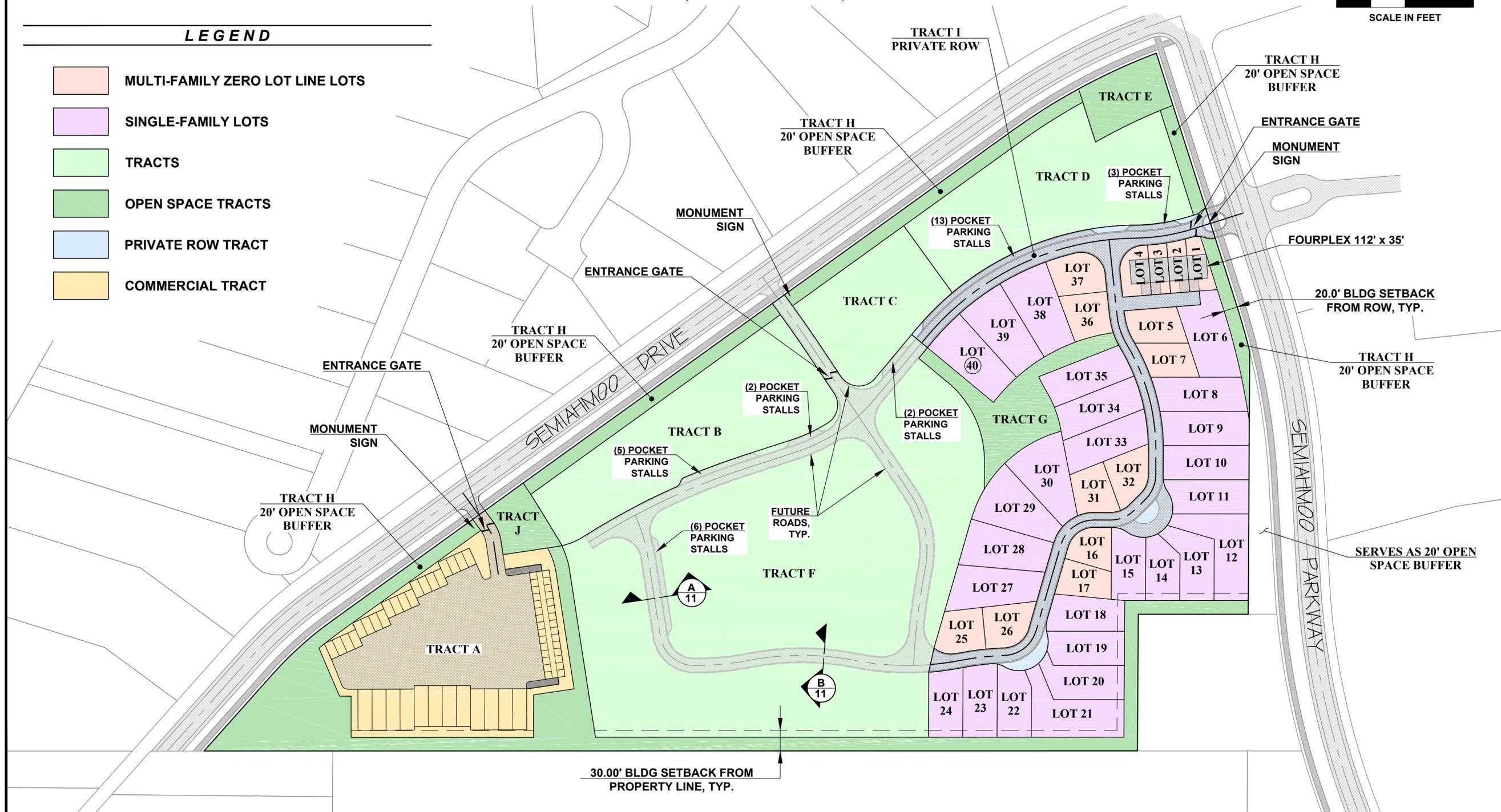
# RESORT SEMIAHMOO ZONE 3 PLANNED UNIT DEVELOPMENT

A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10, TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M.  
CITY OF BLAINE, WHATCOM COUNTY, WASHINGTON



## LEGEND

- MULTI-FAMILY ZERO LOT LINE LOTS
- SINGLE-FAMILY LOTS
- TRACTS
- OPEN SPACE TRACTS
- PRIVATE ROW TRACT
- COMMERCIAL TRACT



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SITUATE IN A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10,  
TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M.  
CITY OF BLAINE, WHATCOM COUNTY, WASHINGTON

<b>PLAT OVERVIEW</b>		CASCADE JOB#: RAZROO01
PLANNED UNIT DEVELOPMENT FOR M-KOV, INC.		JEPSON JOB#: 16064
DRAWN BY: ELR	DATE: 6/24/2016	SHEET: 4 OF 23
CHECKED BY: RTJ	SCALE: AS SHOWN	

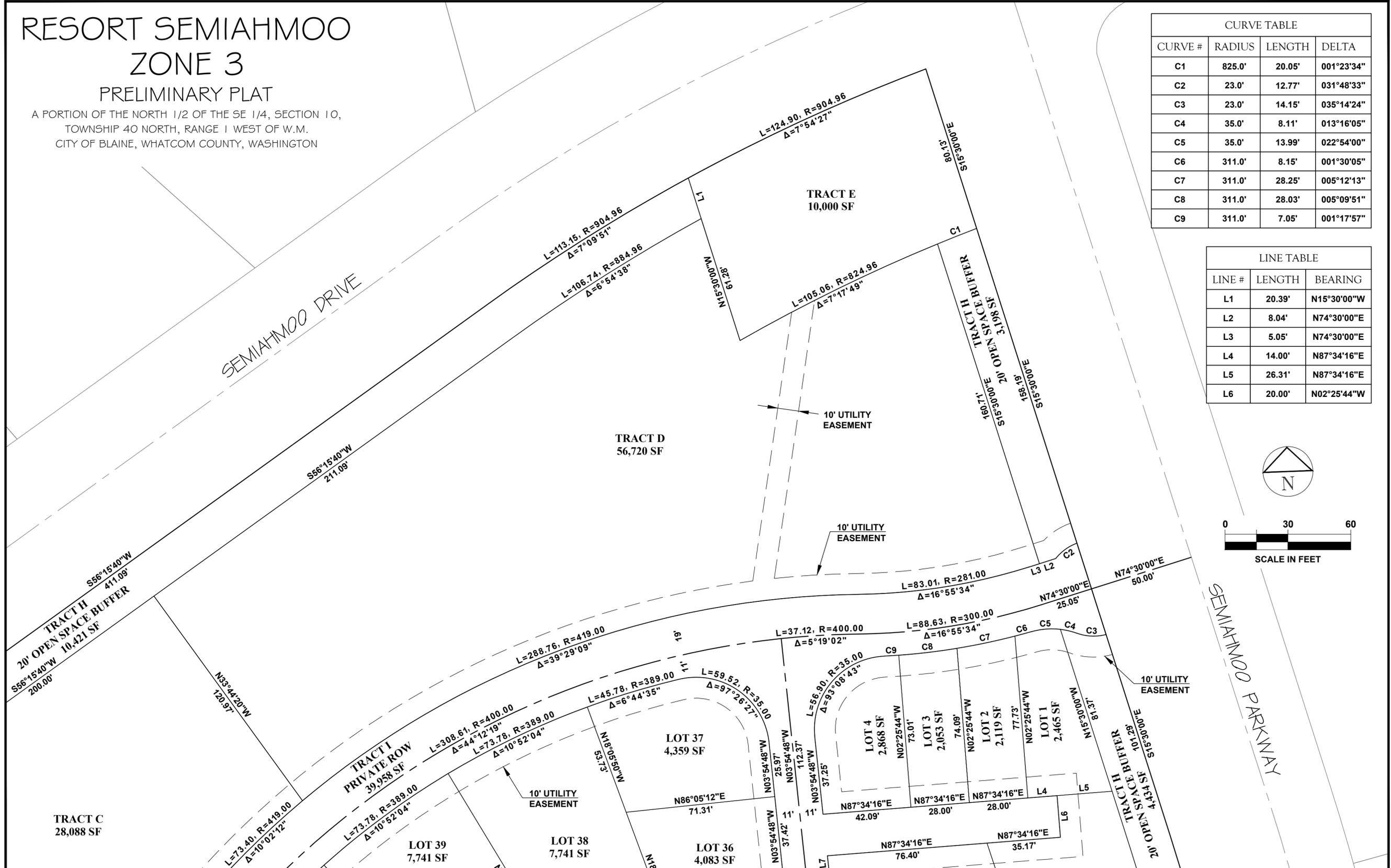
# RESORT SEMIAHMOO ZONE 3

## PRELIMINARY PLAT

A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10,  
TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M.  
CITY OF BLAINE, WHATCOM COUNTY, WASHINGTON

CURVE TABLE			
CURVE #	RADIUS	LENGTH	DELTA
C1	825.0'	20.05'	001°23'34"
C2	23.0'	12.77'	031°48'33"
C3	23.0'	14.15'	035°14'24"
C4	35.0'	8.11'	013°16'05"
C5	35.0'	13.99'	022°54'00"
C6	311.0'	8.15'	001°30'05"
C7	311.0'	28.25'	005°12'13"
C8	311.0'	28.03'	005°09'51"
C9	311.0'	7.05'	001°17'57"

LINE TABLE		
LINE #	LENGTH	BEARING
L1	20.39'	N15°30'00"W
L2	8.04'	N74°30'00"E
L3	5.05'	N74°30'00"E
L4	14.00'	N87°34'16"E
L5	26.31'	N87°34'16"E
L6	20.00'	N02°25'44"W



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AND ENVIRONMENTAL SERVICES

SITUATE IN A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10,  
TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M.  
CITY OF BLAINE, WHATCOM COUNTY, WASHINGTON

LOT & TRACT DIMENSIONS PLANNED UNIT DEVELOPMENT FOR M-KOV, INC.		
DRAWN BY: ELR	DATE: 6/24/2016	CASCADE JOB#: RAZROO01
CHECKED BY: RTJ	SCALE: AS SHOWN	JEPSON JOB#: 16064
		SHEET: 5 OF 23

# RESORT SEMIAHMOO ZONE 3

## PRELIMINARY PLAT

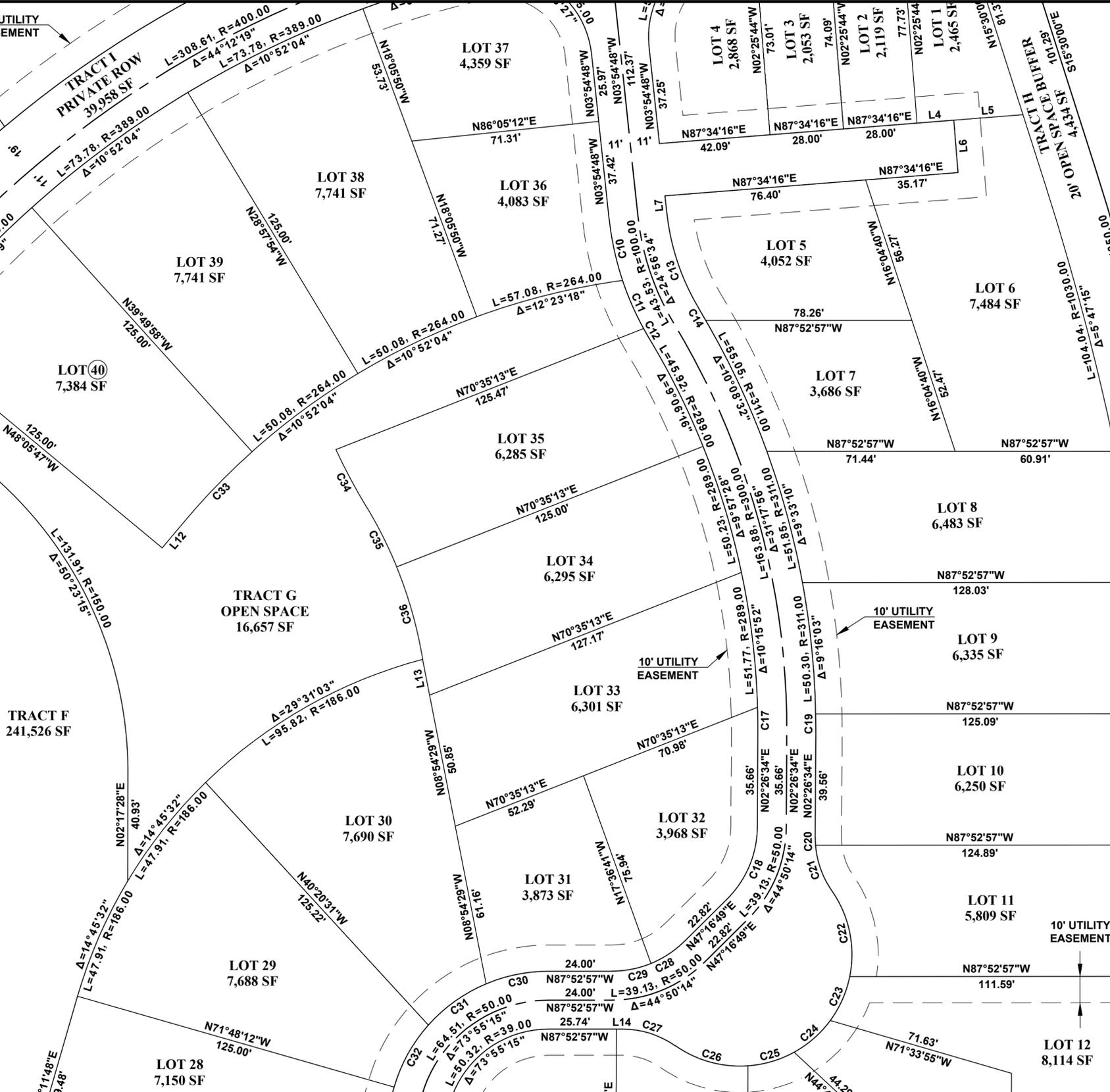
A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10, TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M. CITY OF BLAINE, WHATCOM COUNTY, WASHINGTON

TRACT C  
28,088 SF

CURVE TABLE			
CURVE #	RADIUS	LENGTH	DELTA
C10	111.0'	23.94'	012°21'33"
C11	111.0'	20.04'	010°20'39"
C12	111.0'	4.34'	002°14'22"
C13	89.0'	38.74'	024°56'34"
C14	311.0'	5.09'	000°56'15"
C15	1030.0'	50.84'	002°49'42"
C16	1030.0'	15.14'	000°50'32"
C17	289.0'	9.95'	001°58'20"
C18	39.0'	30.52'	044°50'14"
C19	311.0'	7.59'	001°23'56"
C20	35.0'	2.85'	004°39'43"
C21	35.0'	18.66'	030°33'07"
C22	42.5'	34.25'	046°10'30"
C23	42.5'	18.44'	024°51'14"
C24	42.5'	18.44'	024°51'14"
C25	42.5'	18.44'	024°51'14"
C26	42.5'	29.20'	039°21'58"
C27	35.0'	21.51'	035°12'51"
C28	39.0'	15.26'	022°25'07"
C29	39.0'	15.26'	022°25'07"

CURVE TABLE			
CURVE #	RADIUS	LENGTH	DELTA
C30	61.0'	24.35'	022°52'16"
C31	61.0'	27.17'	025°31'29"
C32	61.0'	27.17'	025°31'29"
C33	264.0'	38.08'	008°15'49"
C34	236.0'	24.97'	006°03'42"
C35	164.0'	25.32'	008°50'47"
C36	164.0'	36.63'	012°47'53"

LINE TABLE		
LINE #	LENGTH	BEARING
L7	6.60'	N03°54'48"W
L8	11.98'	N41°54'13"E
L9	11.98'	N41°54'13"E
L10	11.98'	N41°54'13"E
L11	20.00'	N41°54'13"E
L12	11.98'	N41°54'13"E
L13	13.86'	N08°54'29"W
L14	2.15'	N87°52'57"W



**CASCADE ENGINEERING GROUP, P.S., INC.**  
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SITUATE IN A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10, TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M. CITY OF BLAINE, WHATCOM COUNTY, WASHINGTON

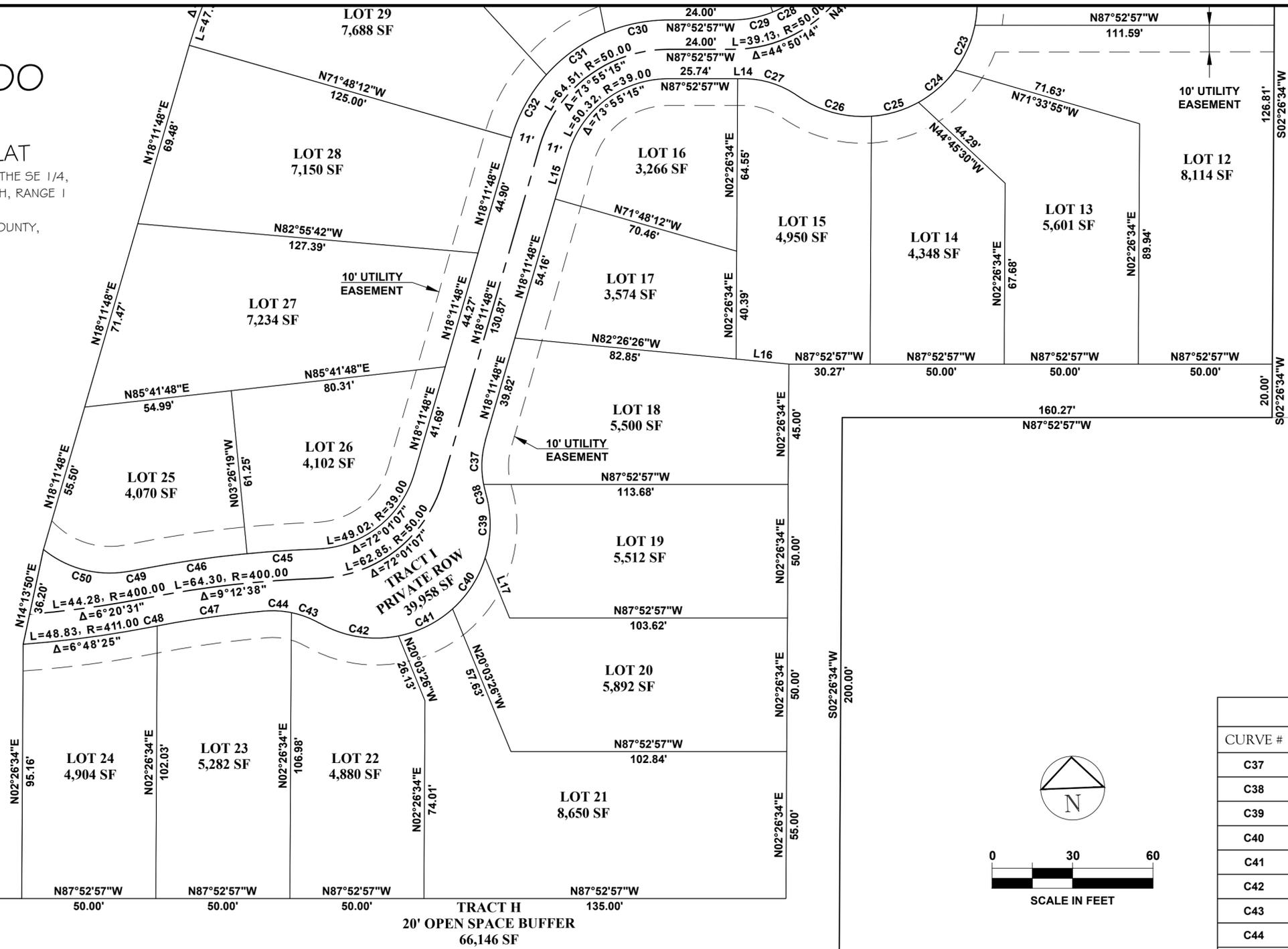
LOT & TRACT DIMENSIONS PLANNED UNIT DEVELOPMENT FOR M-KOV, INC.		CASCADE JOB#: RAZROO1
DRAWN BY: ELR	DATE: 6/24/2016	JEPSON JOB#: 16064
CHECKED BY: RTJ	SCALE: AS SHOWN	SHEET: 6 OF 23

# RESORT SEMIAHMOO ZONE 3

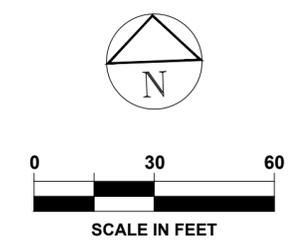
## PRELIMINARY PLAT

A PORTION OF THE NORTH 1/2 OF THE SE 1/4,  
SECTION 10, TOWNSHIP 40 NORTH, RANGE 1  
WEST OF W.M.  
CITY OF BLAINE, WHATCOM COUNTY,  
WASHINGTON

TRACT F  
241,526 SF



SEMIAHMOO PARKWAY



CURVE TABLE			
CURVE #	RADIUS	LENGTH	DELTA
C37	35.0'	16.64'	027°14'35"
C38	42.5'	24.81'	033°26'53"
C39	42.5'	24.81'	033°26'53"
C40	42.5'	22.86'	030°48'56"
C41	42.5'	22.86'	030°48'56"
C42	42.5'	30.60'	041°15'06"
C43	35.0'	11.17'	018°17'16"
C44	35.0'	10.10'	016°32'23"
C45	411.0'	26.21'	003°39'14"
C46	411.0'	39.86'	005°33'24"
C47	389.0'	40.38'	005°56'50"
C48	389.0'	1.71'	000°15'09"
C49	389.0'	4.88'	000°43'05"
C50	39.0'	33.82'	049°40'47"

LINE TABLE		
LINE #	LENGTH	BEARING
L15	17.52'	N18°11'48"E
L16	19.81'	N82°26'26"W
L17	24.22'	N20°03'26"W

TRACT H  
20' OPEN SPACE BUFFER  
66,146 SF

**CASCADE**  
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TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M.  
CITY OF BLAINE, WHATCOM COUNTY, WASHINGTON

LOT & TRACT DIMENSIONS		CASCADE JOB#:
PLANNED UNIT DEVELOPMENT FOR M-KOV, INC.		RAZROO01
DRAWN BY: ELR	DATE: 6/24/2016	JEPSON JOB#: 16064
CHECKED BY: RTJ	SCALE: AS SHOWN	SHEET: 7 OF 23

# RESORT SEMIAHMOO ZONE 3

## PRELIMINARY PLAT

A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10,  
TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M.  
CITY OF BLAINE, WHATCOM COUNTY, WASHINGTON

SEMAHMOO DRIVE

S56°15'40"W 448.18' TRACT H 20' OPEN SPACE BUFFER 8,971 SF  
S56°15'40"W 449.01'  
S56°15'40"W 22.00' L20  
S56°15'40"W 411.09' TRACT H 20' OPEN SPACE BUFFER 10,421 SF  
S56°15'40"W 200.00' L18 L19  
S56°15'40"W 120.97' N33°44'20"W

TRACT B  
56,755 SF

TRACT C  
28,088 SF

TRACT I PRIVATE ROW  
39,958 SF

LOT 40  
7,384 SF

TRACT F  
241,526 SF

TRACT G  
OPEN SPACE 16,657 SF

$\Delta=8^{\circ}50'09''$   
 $L=155.91, R=1011.00$

C52

C51  
L22

$\Delta=5^{\circ}01'01''$   
 $L=89.23, R=1019.00$

N74°08'23"E  
76.75'

$\Delta=14^{\circ}18'14''$   
 $L=57.67, R=231.00$

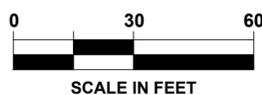
$\Delta=9^{\circ}25'04''$   
 $L=49.46, R=31.00$

$\Delta=10^{\circ}30'55''$   
 $L=57.63, R=31.00$

N41°54'13"E  
83.41'

L=73.40, R=419.00  
 $\Delta=10^{\circ}02'12''$

L=56.10, R=389.00  
 $\Delta=8^{\circ}15'49''$



LINE TABLE

LINE #	LENGTH	BEARING
L18	20.00'	N33°44'20"W
L19	4.49'	N33°44'20"W
L20	20.00'	N33°44'20"W
L21	4.49'	N33°44'20"W
L22	2.70'	N23°51'52"E

CURVE TABLE

CURVE #	RADIUS	LENGTH	DELTA
C51	11.0'	8.69'	045°15'30"
C52	10.0'	7.73'	044°18'52"

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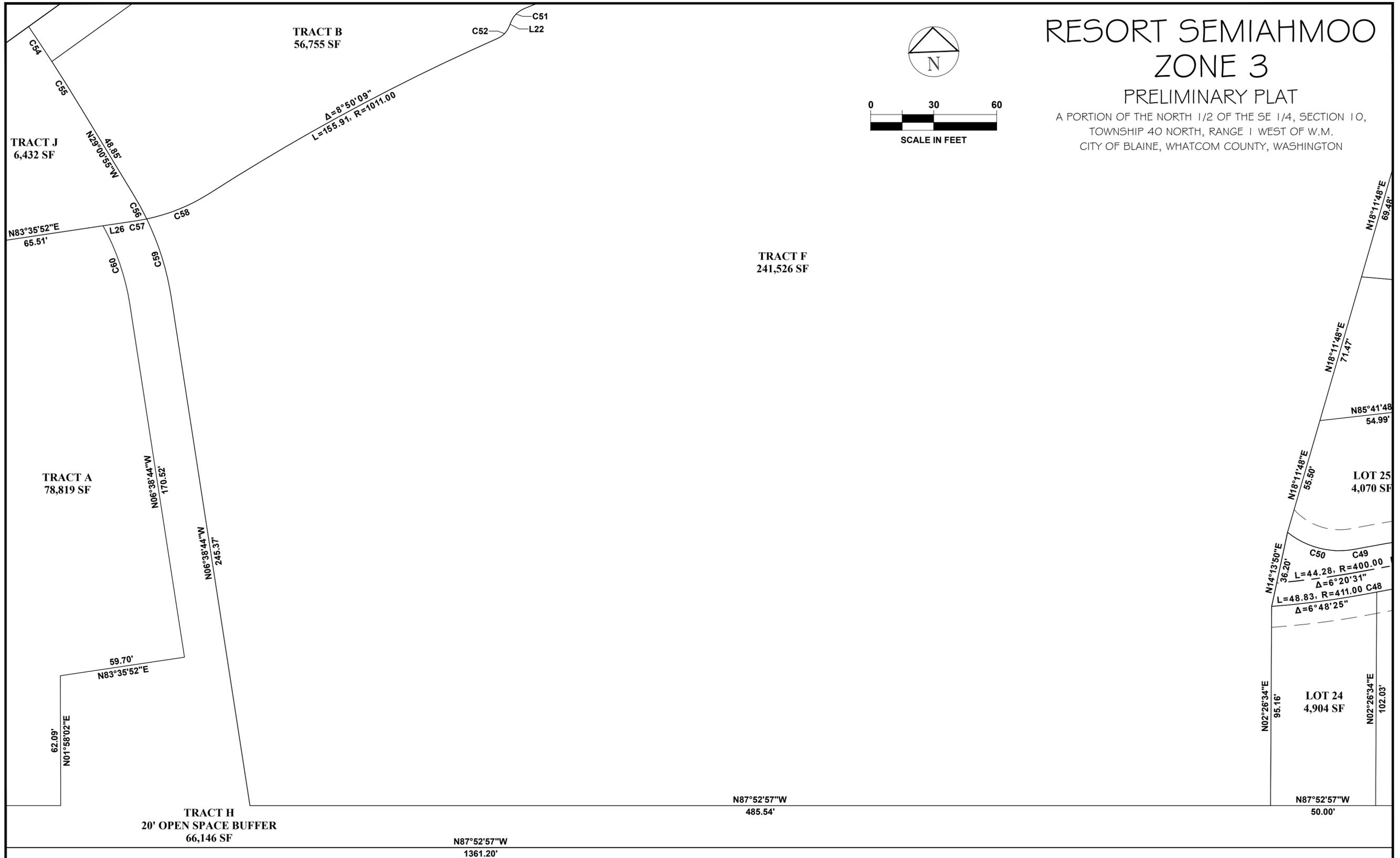
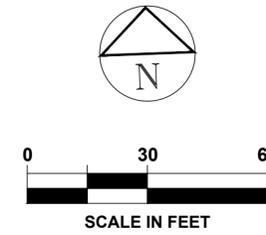
SITUATE IN A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10,  
TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M.  
CITY OF BLAINE, WHATCOM COUNTY, WASHINGTON

LOT & TRACT DIMENSIONS		CASCADE JOB#:
PLANNED UNIT DEVELOPMENT FOR M-KOV, INC.		RAZROO I
DRAWN BY: ELR	DATE: 6/24/2016	JEPSON JOB#: 16064
CHECKED BY: RTJ	SCALE: AS SHOWN	SHEET: 8 OF 23

# RESORT SEMIAHMOO ZONE 3

## PRELIMINARY PLAT

A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10,  
TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M.  
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LOT & TRACT DIMENSIONS		CASCADE JOB#:
PLANNED UNIT DEVELOPMENT FOR M-KOV, INC.		RAZROO01
DRAWN BY: ELR	DATE: 6/24/2016	JEPSON JOB#: 16064
CHECKED BY: RTJ	SCALE: AS SHOWN	SHEET: 9 OF 23

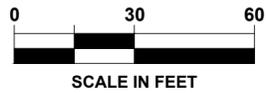
# RESORT SEMIAHMOO ZONE 3

## PRELIMINARY PLAT

A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10,  
TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M.  
CITY OF BLAINE, WHATCOM COUNTY, WASHINGTON

LINE TABLE		
LINE #	LENGTH	BEARING
L23	20.00'	N33°44'20"W
L24	20.92'	N33°44'20"W
L25	20.68'	N06°24'08"W
L26	16.02'	N83°35'52"E
L27	16.97'	N88°01'58"W

CURVE TABLE			
CURVE #	RADIUS	LENGTH	DELTA
C53	62.0'	29.58'	027°20'12"
C54	884.0'	20.02'	001°17'51"
C55	884.0'	26.21'	001°41'55"
C56	134.0'	12.68'	005°25'12"
C57	89.0'	5.04'	003°14'46"
C58	89.0'	32.63'	021°00'31"
C59	134.0'	39.64'	016°56'59"
C60	114.0'	39.82'	020°00'42"



SEMAHMOO DRIVE

TRACT B  
56,755 SF

TRACT J  
6,432 SF

TRACT F  
241,526 SF

TRACT A  
78,819 SF

TRACT H  
20' OPEN SPACE BUFFER  
66,146 SF

S43°45'40"W  
149.43'

L=117.81, R=540.00  
Δ=12°30'00"

L=38.72, R=520.00  
Δ=4°16'00"

S20°55'13"E  
76.30'

L27  
N01°58'02"E  
N0 60.30'±E

N87°52'57"W  
266.00'

S56°15'40"W  
22.00'

L25  
C55

S56°15'40"W  
68.81'

S56°15'40"W  
253.37'

S56°15'40"W  
S5 253.37'±W

N83°35'52"E  
65.51'

L26 C57

C58

N06°38'44"W  
170.52'

N06°38'44"W  
245.37'

59.70'  
N83°35'52"E

62.09'  
N01°58'02"E

Δ=8°50'09"  
L=155.91, R=1017'

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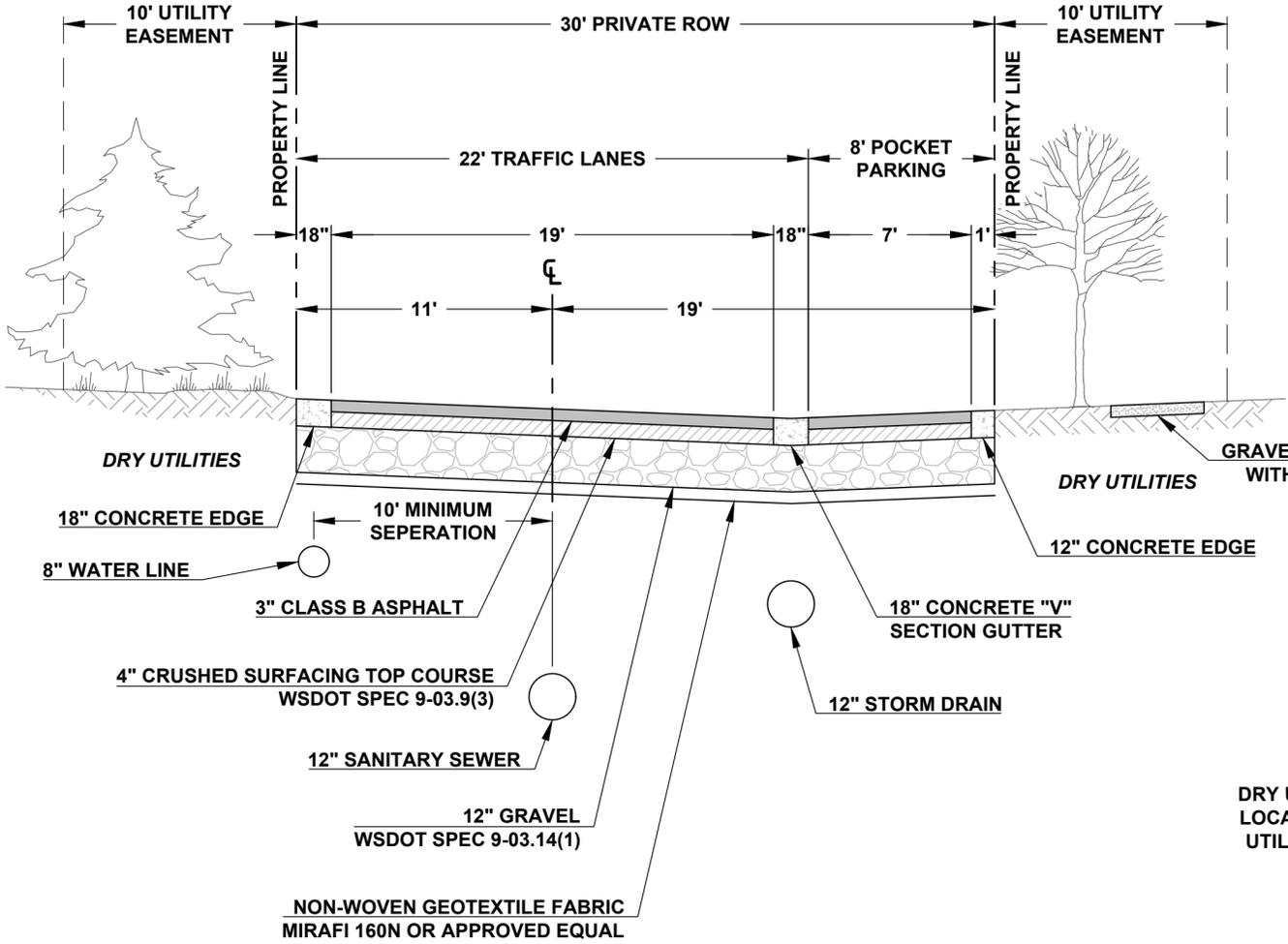
SITUATE IN A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10,  
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CHECKED BY: RTJ	SCALE: AS SHOWN	SHEET: 10 OF 23

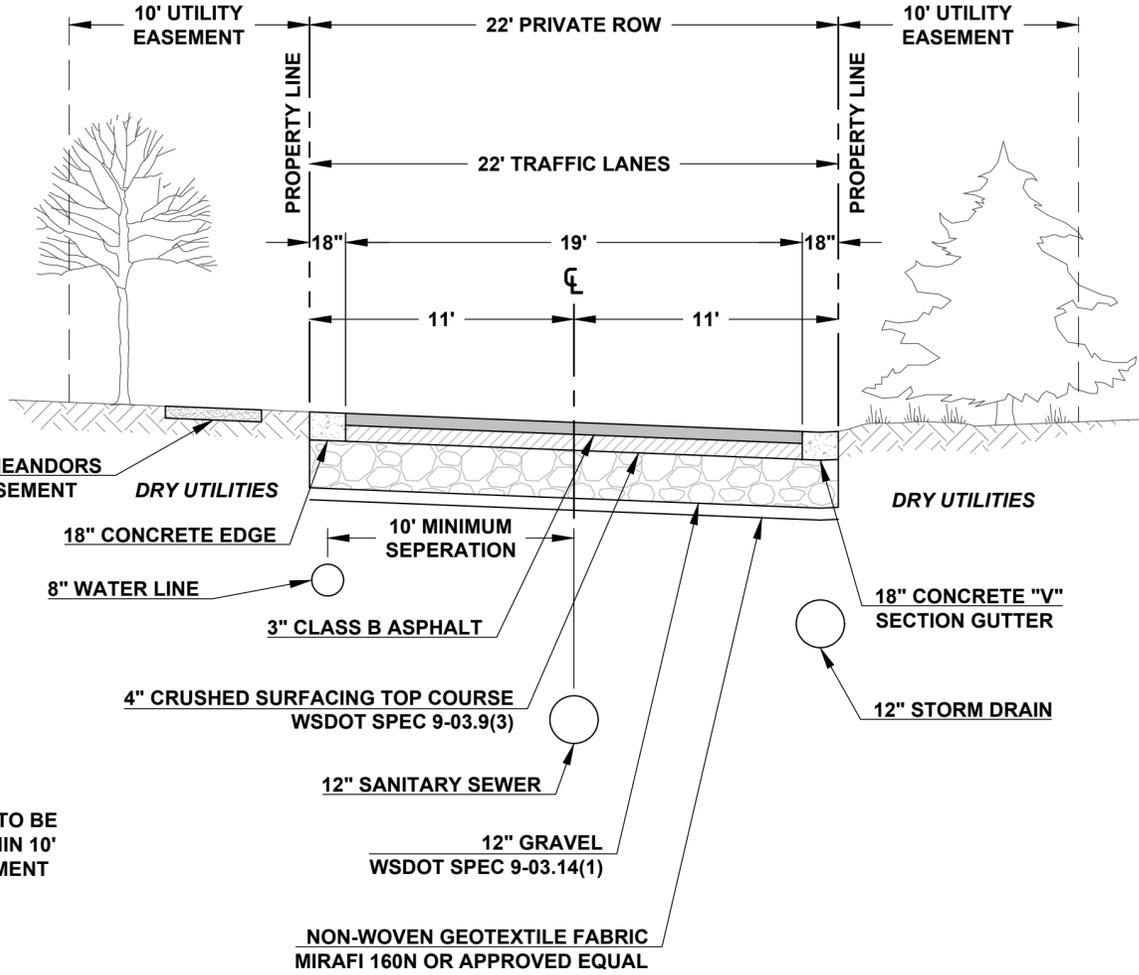
# RESORT SEMIAHMOO ZONE 3

## PLANNED UNIT DEVELOPMENT / PRELIMINARY PLAT

A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10, TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M.  
CITY OF BLAINE, WHATCOM COUNTY, WASHINGTON



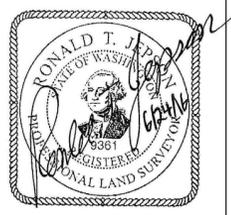
**A**  
4  
**PRIVATE LOCAL STREET  
TYPICAL ROAD SECTION WITH PARKING**  
0 1" = 5' 10'



**B**  
4  
**PRIVATE LOCAL STREET  
TYPICAL ROAD SECTION**  
0 1" = 5' 10'

DRY UTILITIES TO BE LOCATED WITHIN 10' UTILITY EASEMENT

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<b>ROAD SECTIONS</b>		CASCADE JOB#:
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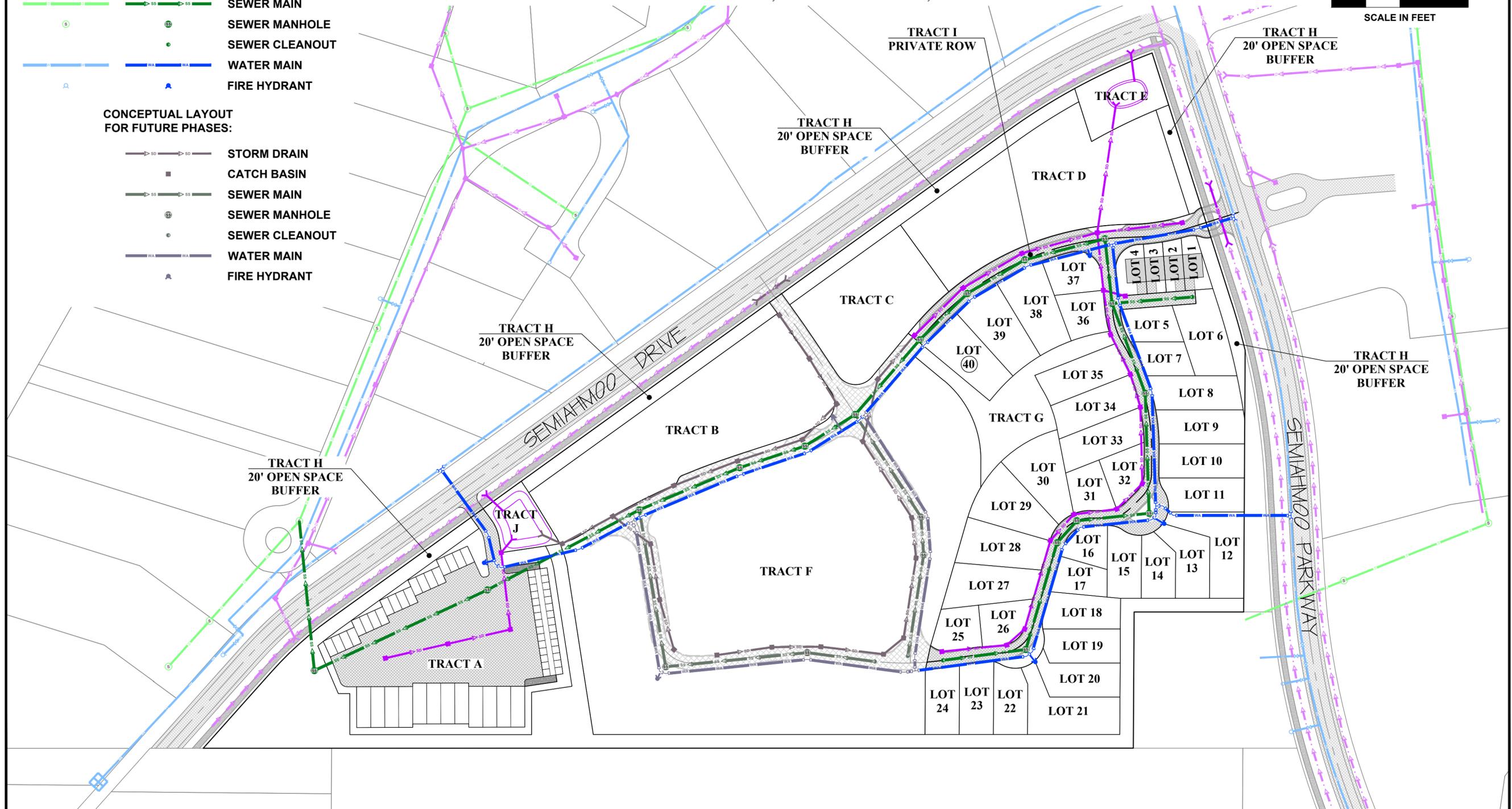
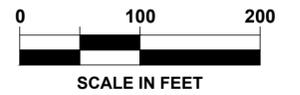
**UTILITY LEGEND**

- |   |                  |                |
|---|------------------|----------------|
| <b>EXISTING:</b>                            | <b>PROPOSED:</b> |                |
|   |                  | DITCH          |
|   |                  | STORM DRAIN    |
|   |                  | CATCH BASIN    |
|   |                  | SEWER MAIN     |
|   |                  | SEWER MANHOLE  |
|   |                  | SEWER CLEANOUT |
|   |                  | WATER MAIN     |
|   |                  | FIRE HYDRANT   |
| <b>CONCEPTUAL LAYOUT FOR FUTURE PHASES:</b> |                  |                |
|   |                  | STORM DRAIN    |
|   |                  | CATCH BASIN    |
|   |                  | SEWER MAIN     |
|   |                  | SEWER MANHOLE  |
|   |                  | SEWER CLEANOUT |
|   |                  | WATER MAIN     |
|   |                  | FIRE HYDRANT   |

# RESORT SEMIAHMOO ZONE 3

## PLANNED UNIT DEVELOPMENT

A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10, TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M.  
CITY OF BLAINE, WHATCOM COUNTY, WASHINGTON



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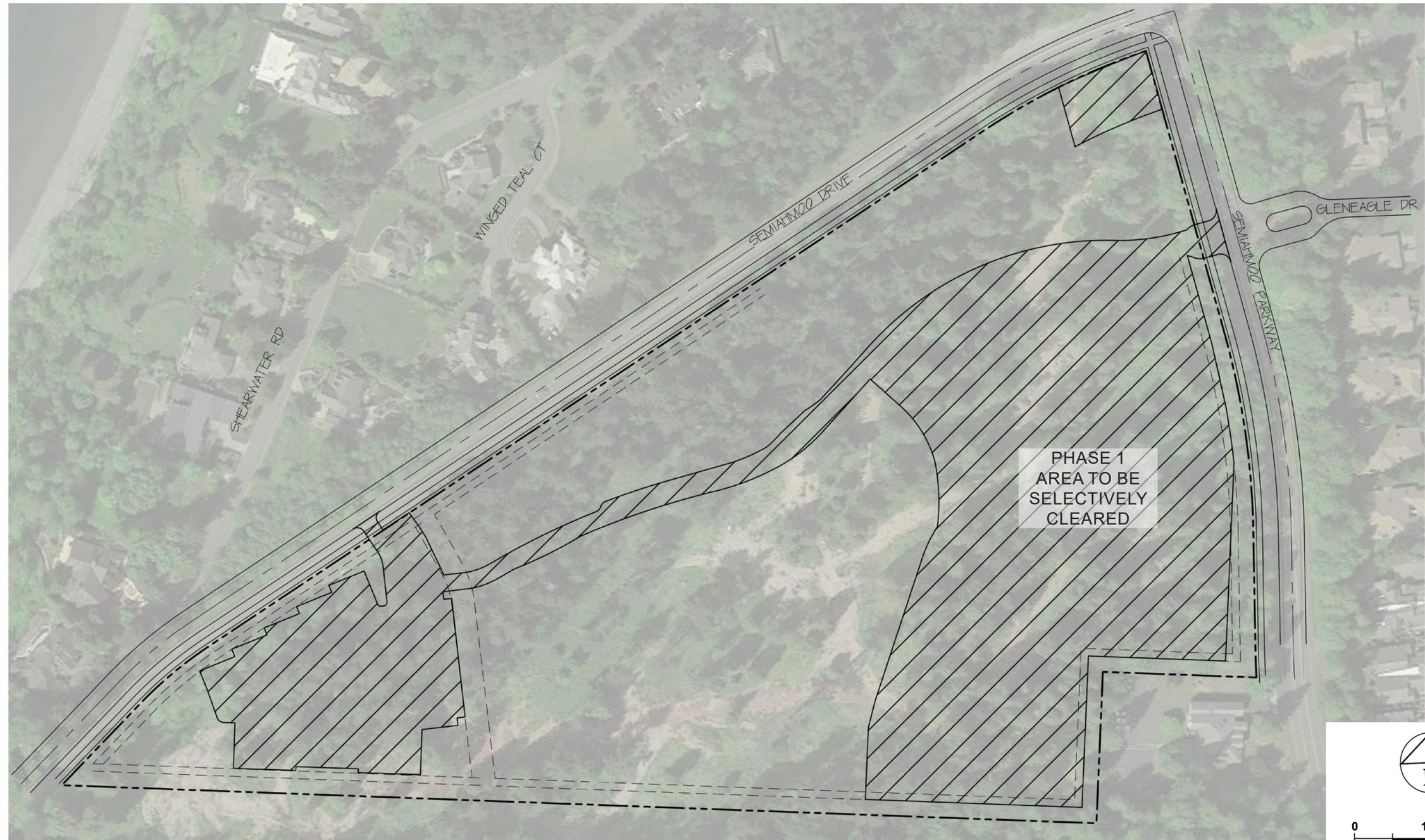
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UTILITY LAYOUT PLANNED UNIT DEVELOPMENT FOR M-KOV, INC.		CASCADE JOB#: RAZROO01
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# RESORT SEMIAHMOO ZONE 3

## PLANNED UNIT DEVELOPMENT

A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10, TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M.  
CITY OF BLAINE, WHATCOM COUNTY, WASHINGTON



SCALE IN FEET

### SITE DISTURBANCE PLAN

SITUATE IN A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10,  
TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M.  
CITY OF BLAINE, WHATCOM COUNTY, WASHINGTON

PLANNED UNIT DEVELOPMENT  
FOR M-KOV, INC.

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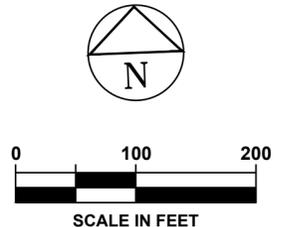


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# RESORT SEMIAHMOO ZONE 3

## PLANNED UNIT DEVELOPMENT

A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10, TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M.  
CITY OF BLAINE, WHATCOM COUNTY, WASHINGTON



### PUD PLAN / LANDSCAPE PLAN

SITUATE IN A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10, TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M. CITY OF BLAINE, WHATCOM COUNTY, WASHINGTON

PLANNED UNIT DEVELOPMENT FOR M-KOV, INC.		CASCADE JOB#: RAZR0001
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# RESORT SEMIAHMOO ZONE 3

## PLANNED UNIT DEVELOPMENT

A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10, TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M.  
CITY OF BLAINE, WHATCOM COUNTY, WASHINGTON

### BUFFER PLANT MIX

- plant mix to enhance thin areas of buffer

- Acer circinatum* / Vine Maple
- Cornus nuttallii* 'Eddie's White Wonder' / Eddie's White Wonder Dogwood
- Philadelphus lewisii* / Wild Mockorange
- Pseudotsuga menziesii* / Douglas Fir
- Rhamnus purshiana* / Cascara
- Rhododendron macrophyllum* / Pacific Rhododendron
- Thuja plicata* / Western Red Cedar



*Acer circinatum*



*Cornus nuttallii*



*Philadelphus lewisii*



*Pseudotsuga menziesii*



*Rhododendron macrophyllum*



*Thuja plicata*

### TRANSITION PLANT MIX

- plant mix along edge of existing forest buffer

- Amelanchier laevis* / Allegheny Serviceberry
- Asarum hartwegii* / Hartweg's Wild Ginger
- Holodiscus discolor* / Ocean-spray
- Mahonia aquifolium* / Oregon Grape
- Mahonia repens* / Creeping Oregon Grape
- Phlox diffusa* / Spreading Phlox
- Physocarpus capitatus* / Pacific Ninebark
- Rhododendron macrophyllum* / Pacific Rhododendron
- Spiraea betulifolia lucida* / Shiny Leaf Spirea



*Amelanchier laevis*



*Asarum hartwegii*



*Holodiscus discolor*



*Mahonia aquifolium*



*Phlox diffusa*



*Physocarpus capitatus*

### ENTRY & ACCENT AREA PLANT MIX

- plant mix for drive entries, trail heads, and visual accent areas

- Acer circinatum* / Vine Maple
- Amelanchier laevis* / Allegheny Serviceberry
- Cercis canadensis* / Eastern Redbud
- Daphne caucasica* / Daphne
- Fragaria chiloensis* / Beach Strawberry
- Gaultheria procumbens* / Wintergreen
- Hemerocallis* / Daylily
- Iris sibirica* / Siberian Iris
- Juniperus chinensis* / Juniper
- Juniperus sabina* / Juniper
- Mahonia aquifolium* / Oregon Grape
- Rhododendron 'PJM'* / Rhododendron
- Ribes sanguineum* / Red Flowering Currant
- Sarcococca hookeriana humilis* / Sweet Box
- Spiraea betulifolia 'Tor'* / Birchleaf Spirea



*Cercis canadensis*



*Daphne caucasica*



*Fragaria chiloensis*



*Hemerocallis*



*Juniperus sabina*



*Ribes sanguineum*



*Cornus sericea 'Isanti'*



*Geranium x cantabrigiense*



*Iris sibirica 'Caesar's Brother'*



*Phlox subulata*



*Sarcococca humilis*



*Spiraea betulifolia 'Tor'*

### STORMWATER DETENTION PLANT MIX

- plants tolerant of temporary saturation and inundation

- Acer circinatum* / Vine Maple
- Cornus sericea 'Isanti'* / Isanti Redosier Dogwood
- Cornus sericea 'Kelsey'* / Kelsey Dogwood
- Geranium x cantabrigiense 'Berggarten'* / Hybrid Cranesbill
- Iris douglasiana 'Pacific Coast Hybrids'* / PCH Iris
- Iris sibirica 'Caesar's Brother'* / Caesar's Brother Siberian Iris
- Iris tenax* / Oregon Iris
- Phlox subulata* / Moss Phlox
- Sarcococca hookeriana humilis* / Sweet Box
- Spiraea betulifolia 'Tor'* / Birchleaf Spirea
- Thuja plicata* / Western Red Cedar

#### Notes:

1. Images represent key plant species, not all species on the plant list are shown.
2. Additional plants may be selected from Appendix D of the Resort Semiahmoo Master Plan.
3. All plant species are to be selected for deer resistance
4. All landscape to comply with Semiahmoo Resort Association:
5. "Guidelines and Standards to Home Construction" [www.semiahmooresortassociation.com/?page\\_id=128](http://www.semiahmooresortassociation.com/?page_id=128) and "Tree Guidelines" [http://www.semiahmooresortassociation.com/?page\\_id=55](http://www.semiahmooresortassociation.com/?page_id=55)

### PLANT SCHEDULE

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TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M.  
CITY OF BLAINE, WHATCOM COUNTY, WASHINGTON

PLANNED UNIT DEVELOPMENT  
FOR M-KOV, INC.

CASCADE JOB#:  
RAZROO01

DRAWN BY:  
CB

DATE:  
06/24/2016

JEPSON JOB#:  
16064

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GM

SCALE:  
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SHEET:  
15 OF 23

# RESORT SEMIAHMOO ZONE 3

## PLANNED UNIT DEVELOPMENT

A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10, TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M.  
CITY OF BLAINE, WHATCOM COUNTY, WASHINGTON

**Notes:**

1. Each single family and duplex residential property owner will install two trees and foundation plants at the time of the residence construction.
2. Duplex landscape similar to single family residence landscape.



FOURPLEX MULTI-FAMILY RESIDENCE  
SCALE: 3/32" = 1'



SINGLE FAMILY PATIO RESIDENCE  
SCALE: 1/8" = 1'



TWO STORY SINGLE FAMILY PATIO RESIDENCE  
SCALE: 1/8" = 1'

### LANDSCAPE ELEVATIONS

SITUATE IN A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10,  
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CITY OF BLAINE, WHATCOM COUNTY, WASHINGTON

PLANNED UNIT DEVELOPMENT  
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# RESORT SEMIAHMOO ZONE 3

## PLANNED UNIT DEVELOPMENT

A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10, TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M.  
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**Notes:**

1. The final development will include 15% open space.

**Recreational Amenities:**

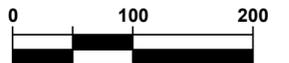
40 Units = 2 Minor & 1 Major Amenities

**Minor Amenities:**

- Community garden
- Interpretive trail signage

**Major Amenity:**

- Trails in natural area



SCALE IN FEET

### OPEN SPACE & TRAILS

SITUATE IN A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10,  
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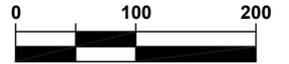
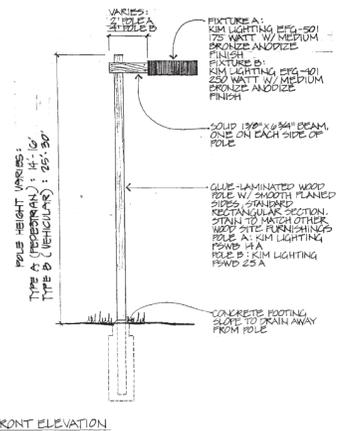
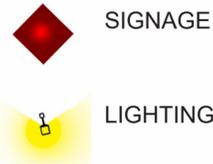
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# RESORT SEMIAHMOO ZONE 3

## PLANNED UNIT DEVELOPMENT

A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10, TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M.  
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### LEGEND



### LIGHTING & SIGNAGE

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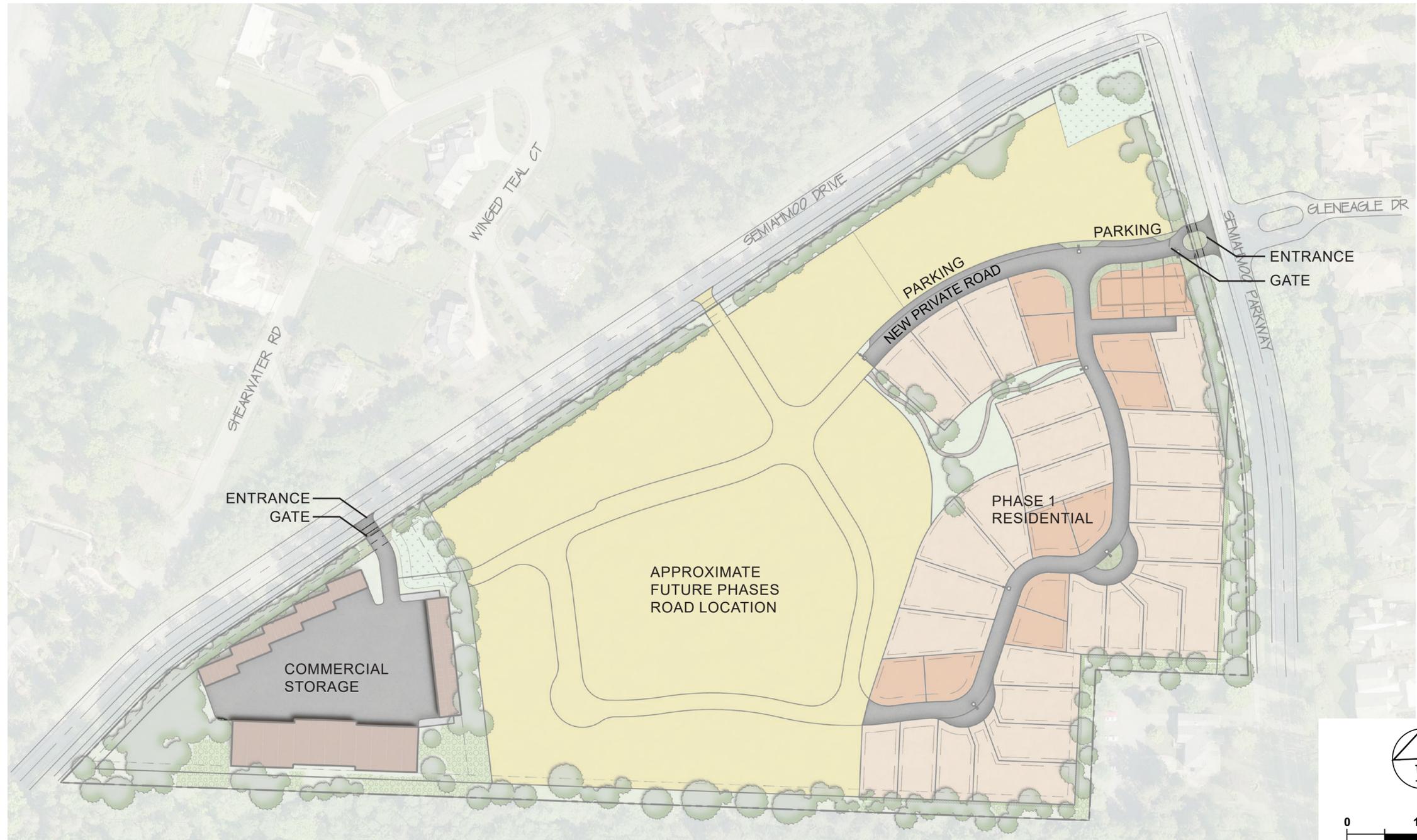
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# RESORT SEMIAHMOO ZONE 3

## PLANNED UNIT DEVELOPMENT

A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10, TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M.  
CITY OF BLAINE, WHATCOM COUNTY, WASHINGTON



SCALE IN FEET

### STREETSCAPE PLAN

SITUATE IN A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10,  
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CITY OF BLAINE, WHATCOM COUNTY, WASHINGTON

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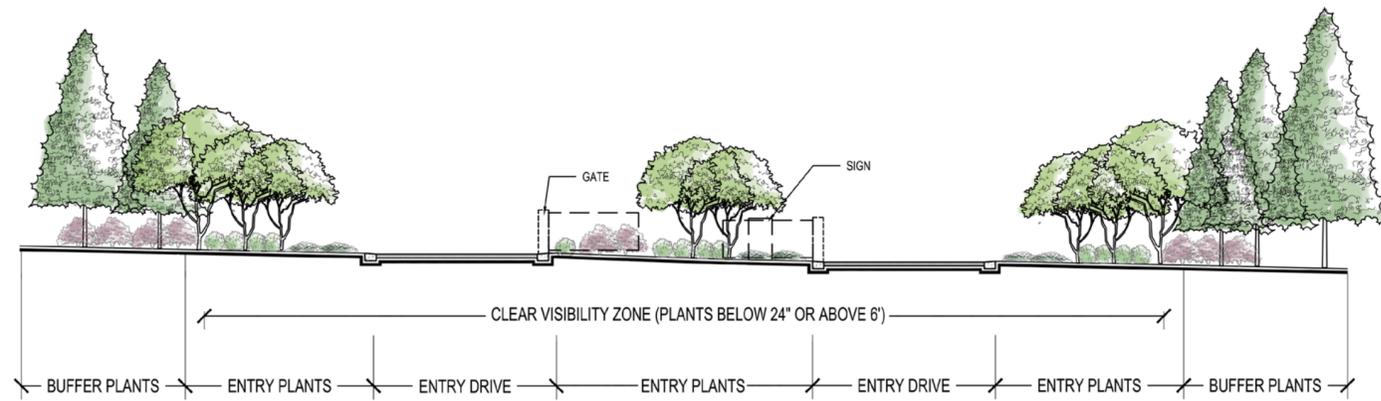


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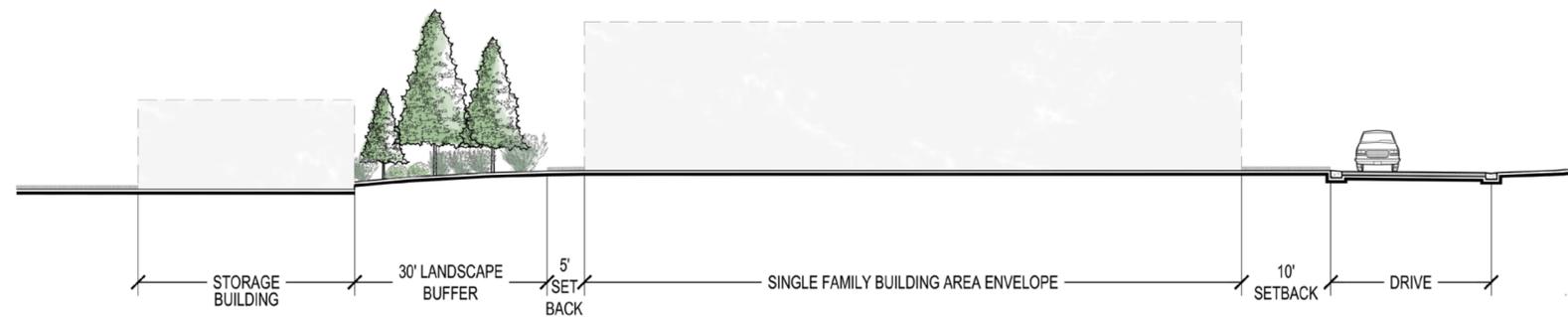
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## PLANNED UNIT DEVELOPMENT

A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10, TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M.  
CITY OF BLAINE, WHATCOM COUNTY, WASHINGTON



1 SECTION THROUGH ENTRY  
SCALE: 1"=16'-0"



2 SECTION THROUGH STORAGE AREA  
SCALE: 1"=16'-0"

### STREET SECTIONS

SITUATE IN A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10,  
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CB

DATE:  
06/24/2016

JEPSON JOB#:  
16064

CHECKED BY:  
GM

SCALE:  
AS SHOWN

SHEET:  
20 OF 23



planners | architects | landscape architects  
urban designers | geospatial analysts

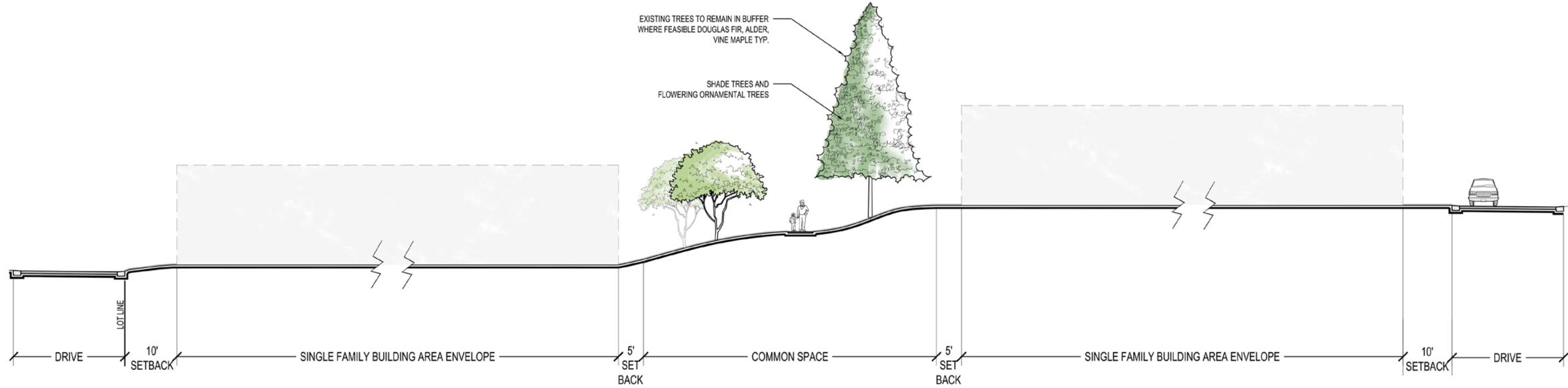


119 Grand Avenue, Suite D (360) 306-8161  
Bellingham, Washington 98225

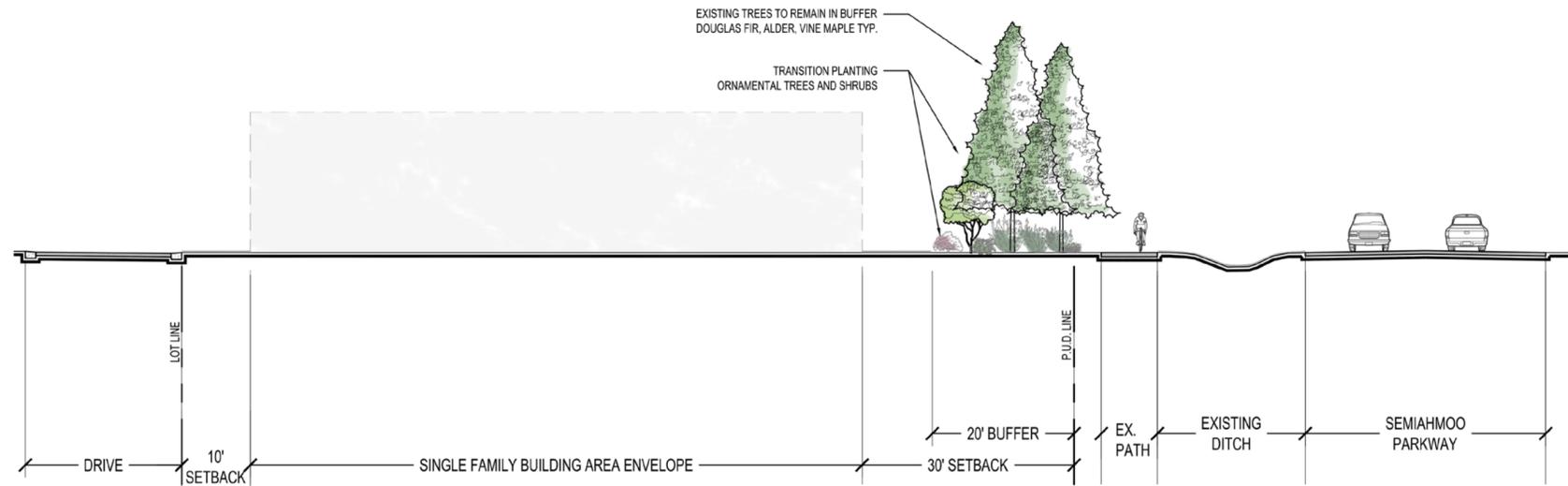
# RESORT SEMIAHMOO ZONE 3

## PLANNED UNIT DEVELOPMENT

A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10, TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M.  
CITY OF BLAINE, WHATCOM COUNTY, WASHINGTON



3 SECTION THROUGH COMMON SPACE  
SCALE: 1"=10'-0"



4 SECTION THROUGH SEMIAHMOO PARKWAY  
SCALE: 1"=10'-0"

### STREET SECTIONS

**elm environments**  
planners | architects | landscape architects  
urban designers | geospatial analysts

**CASCADE**  
ENGINEERING GROUP, P.S., INC.  
119 Grand Avenue, Suite D (360) 306-8161  
Bellingham, Washington 98225

SITUATE IN A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10,  
TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M.  
CITY OF BLAINE, WHATCOM COUNTY, WASHINGTON

PLANNED UNIT DEVELOPMENT  
FOR M-KOV, INC.

CASCADE JOB#:  
RAZROO01

DRAWN BY:  
CB

DATE:  
06/24/2016

JEPSON JOB#:  
16064

CHECKED BY:  
GM

SCALE:  
AS SHOWN

SHEET:  
21 OF 23

# RESORT SEMIAHMOO ZONE 3

## PLANNED UNIT DEVELOPMENT

A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10, TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M.  
CITY OF BLAINE, WHATCOM COUNTY, WASHINGTON

**Notes:**

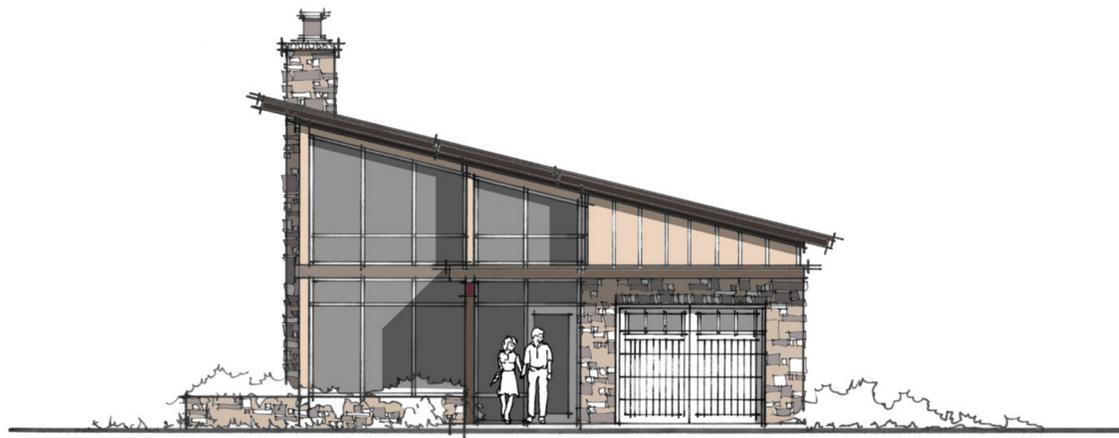
1. Duplex Units to be similar in character to Single Family and Multi-Family Units.

**Architectural Control Standards:**

All architecture to comply with Semiahmoo Resort Association "Guidelines and Standards to Home Construction"  
[www.semiahmooresortassociation.com/?page\\_id=128](http://www.semiahmooresortassociation.com/?page_id=128)



FOURPLEX MULTI-FAMILY RESIDENCE  
SCALE: 3/32" = 1'



SINGLE FAMILY PATIO RESIDENCE  
SCALE: 1/8" = 1'



TWO STORY SINGLE FAMILY PATIO RESIDENCE  
SCALE: 1/8" = 1'

### RESIDENTIAL BUILDING ELEVATIONS

SITUATE IN A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10, TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M. CITY OF BLAINE, WHATCOM COUNTY, WASHINGTON

PLANNED UNIT DEVELOPMENT FOR M-KOV, INC.

CASCADE JOB#: RAZR0001

DRAWN BY: CB

DATE: 06/24/2016

JEPSON JOB#: 16064

CHECKED BY: GM

SCALE: AS SHOWN

SHEET: 22 OF 23



planners | architects | landscape architects  
urban designers | geospatial analysts



119 Grand Avenue, Suite D (360) 306-8161  
Bellingham, Washington 98225

# RESORT SEMIAHMOO ZONE 3

## PLANNED UNIT DEVELOPMENT

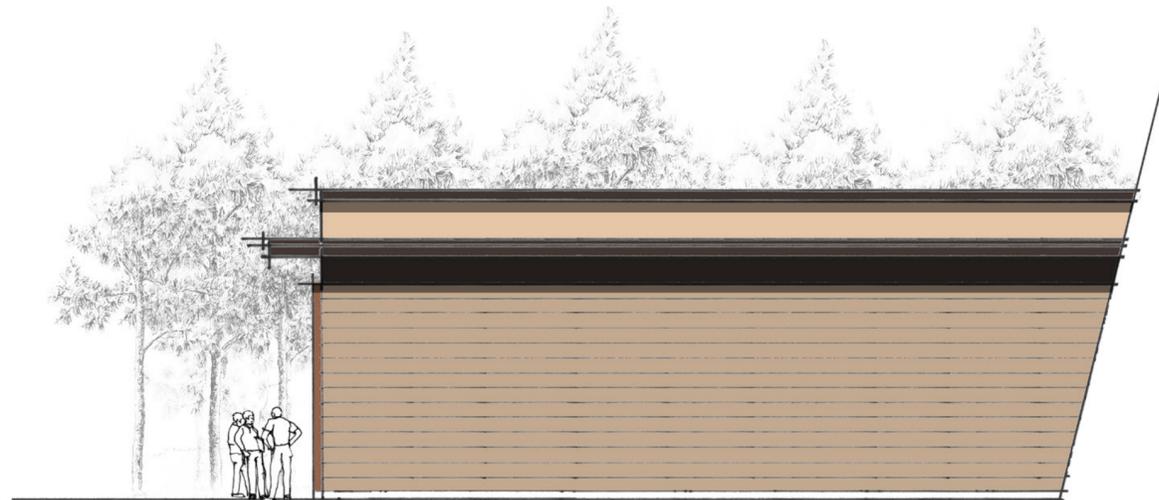
A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10, TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M.  
CITY OF BLAINE, WHATCOM COUNTY, WASHINGTON



RV STORAGE BUILDING - FRONT  
SCALE: 1/8" = 1'



STORAGE BUILDING - FRONT  
SCALE: 1/8" = 1'



RV STORAGE BUILDING - REAR  
SCALE: 1/8" = 1'



STORAGE BUILDING - REAR  
SCALE: 1/8" = 1'

### STORAGE BUILDING ELEVATIONS

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urban designers | geospatial analysts

**CASCADE**  
ENGINEERING GROUP, P.S., INC.  
119 Grand Avenue, Suite D (360) 306-8161  
Bellingham, Washington 98225

SITUATE IN A PORTION OF THE NORTH 1/2 OF THE SE 1/4, SECTION 10,  
TOWNSHIP 40 NORTH, RANGE 1 WEST OF W.M.  
CITY OF BLAINE, WHATCOM COUNTY, WASHINGTON

PLANNED UNIT DEVELOPMENT  
FOR M-KOV, INC.

CASCADE JOB#:  
RAZR0001

DRAWN BY:  
CB

DATE:  
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16064

CHECKED BY:  
GM

SCALE:  
AS SHOWN

SHEET:  
23 OF 23



# NOTICE OF MITIGATED DETERMINATION OF NONSIGNIFICANCE (MDNS)

City of Blaine CDS *et* 435 Martin Street, Suite 3000 *et* Blaine, Washington 98230

<b>Project Name</b>	Semiahmoo Zone 3 Planned Unit Development and Plat
<b>SEPA File Number</b>	SEP-8-16
<b>Project Description</b>	An application for permits to develop 19.4 acres at the southwest corner of Semiahmoo Parkway and Drayton Harbor Road. The development proposes 40 housing units in Phase 1 and up to an additional 79 units in future phases. The project also includes potential commercial space for various neighborhood commercial uses and a personal, indoor storage facility. Open space, roads, utilities and a potential park site are included in the project.
<b>Proponent</b>	Wayne Schwandt Rimland Pacific 965 Grand Ave Bellingham WA 98229
<b>Location</b>	Southwest corner of Semiahmoo Parkway and Drayton Harbor Road, a portion of the N ½ of the SE ¼ of Section 10 Township 40N, Range 1W, W.M.
<b>Lead Agency</b>	City of Blaine
<b>Determination</b>	The lead agency has determined that this project is not likely to have a probable significant adverse impact on the environment with the addition of mitigating conditions to the development approval. An environmental impact statement (EIS) is not required under RCW 43.21C.030 (2) (c). This decision was made after review of a completed environmental checklist and other information on file with the lead agency. That information is available to the public upon request at the City of Blaine, Community Development Services office.

## Mitigation Measures

### Air Quality

Prior to commencing land disturbance activity, the Applicant shall prepare and submit a Dust Suppression Plan (DSP) as part of the SWPPP to the City for review and approval by the City Public Works Director. The Applicant shall not commence land disturbance activity until the City approves a Final DSP. The DSP shall address methods to control dust generated on and off the site during construction.

### Stormwater

Prior to approval of civil construction plans, the Applicant shall submit to the City a Final Stormwater Design Report consistent with the latest edition of the Stormwater Management Manual for Western Washington for review and approval by the Public Works Director. The Final Stormwater Design Report and associated stormwater site plan must respond to all relevant conditions attached to preliminary plat and PUD approval.

Prior to commencing land disturbance activity, the Applicant shall submit a Construction Stormwater Pollution Prevention Plan (SWPPP) to the City for review and approval by the City Public Works Director. The final approved SWPPP shall demonstrate, in detail, how Applicant will manage the site during the time that land disturbing activity is taking place, including; measures to protect disturbed areas, control and direct storm water runoff through construction areas, and provide water quality treatment for runoff from the site. Best Management Practices (BMPs) associated with the SWPPP shall comply with the latest edition of the Washington State Department of Ecology’s Stormwater Management Manual for Western Washington.

### Cultural Resources

#### Inadvertent Discovery:

At any time during excavation, site clearing, or preparations, if archaeological resources (e.g. shell midden, faunal remains, stone tools) be observed during project activities, all work in the immediate vicinity should stop, and the area should be secured. The Washington State Department of Archaeology and Historic Preservation (Gretchen Kaehler, Local Government Archaeologist 360-586-3088) and the Lummi Nation Tribal Historic Preservation Office (Lena Tso, THPO 360-312-2257; Tamela Smart, Deputy Compliance Officer 360-312-2253); and the City of Blaine SEPA Official (Michael Jones, 360-543-9981) shall be contacted immediately in order to help assess the situation and to determine how to preserve the resource(s). In the event that the find includes human remains the Blaine Police Department shall be called immediately at 360-332-6769. Compliance with all applicable laws pertaining to archaeological resources is required. The Applicant shall ensure that all equipment operators and site managers are advised of the following archeological resources mitigation

**Monitoring:** The Applicant shall ensure that grading, excavating, and trenching within the utility corridors and private road tracts are monitored by a professional archaeologist, and that the archaeologist is present on-site at all times to monitor all such activities. If the archaeologist observes any pre-contact or historic period archaeological deposits and/or human remains in any part of the project area, all work in the immediate vicinity shall stop, and the area shall be secured. The Washington State Department of Archaeology and Historic Preservation (Gretchen Kaehler, Local Government Archaeologist 360-586-3088) and the Lummi Nation Tribal Historic Preservation Office (Lena Tso, THPO 360-312-2257; Tamela Smart, Deputy Compliance Officer 360-312-2253); and the City of Blaine SEPA Official (Michael Jones, 360-543-9981) shall be contacted immediately in order to help assess the situation and to determine how to preserve the resource(s). In the event that the find includes human remains the Blaine Police Department shall be called immediately at 360-332-6769. Compliance with all applicable laws pertaining to archaeological resources is required.

**Emergency Services**

**Capital Facilities:** The project proponent shall pay emergency services mitigation fees to Fire District #21 according to a rate and schedule as determined by the North Whatcom Fire and Rescue Capital Facilities Plan and any associated, applicable mitigation fee schedule.

**Traffic**

**Bell Road/Blaine Road/Peace Portal Drive Intersection:** Development on the project site shall contribute fair-share funding for off-site transportation improvements at the Bell Road/Blaine Road/Peace Portal Drive intersection as estimated in the City's 2016 Transportation Improvement Plan based on a percentage contribution of vehicle trips through the intersection in 2023. Fees shall be paid at the time of building permit issuance for each dwelling unit or commercial space at a \$135.20 per peak hour vehicle trip rate. Such funds shall be held by the City for the specific intersection improvements until time of construction.

**Aesthetics**

**Landscape Maintenance** A landscape maintenance plan shall be created, which is an obligation of the homeowner's association and enforceable by the City through the development's Covenants, Conditions, and Restrictions (CC&Rs). The applicant shall include a section in the CC&R's for the project that specifically addresses the maintenance requirements of this Landscape Plan. The maintenance plan and CC&R's shall be reviewed and approved by the Department of Community Development prior to occupancy of the first dwelling unit.

**Open Space:** The land disturbance and clearing plans shall include preservation of all viable/non-hazardous trees and understory vegetation in the perimeter buffer and open space areas. A final landscape plan shall be developed for open space areas adjacent to and included in each phase prior to issuance of land disturbance permits for those phases. Said plan shall include an enhanced density of native vegetation, primarily evergreens, that will screen between approximately 50-percent and 75-percent of the view into residential lots on the site from Semiahmoo Parkway and Semiahmoo Drive, at a minimum

**Tree Preservation:** Tree removal and clearing for Phase 1 in areas designated for residential lot development will be conducted after on-site consultation with the Community Development Director/SEPA Official with the intent to preserve trees and vegetation that are outside the future building and appurtenance development footprints. Tree removal and clearing for future phases will be conducted after approval of Site Plan Review or other development permits such that these areas are left in a forested state until time of development and are not prematurely cleared.

<b>Comment Period</b>
<b>Responsible Official</b>
<b>Appeal</b>

This MDNS is issued under WAC 197-11-340 (2). The lead agency will not act on this proposal for 14 days from the date of issuance. Comments must be submitted by the end of the business day on August 26, 2016.

Michael Jones  
Community Development Director, City of Blaine  
435 Martin Street, Suite 3000, Blaine, WA 98230  
Phone: 360-332-8311 ext. 3317  
Fax: 360-543-9978  
Email: [mjones@cityofblaine.com](mailto:mjones@cityofblaine.com)

This determination may be appealed by letter to the SEPA Official at the address noted above. Such an appeal would need to be made by the end of the business day on August 26, 2016. Appeals must include a specific factual objection. Questions should be directed to the responsible official noted above.

Signature:  Date: 8/12/16

**Semiahmoo Zone 3 Comment Summary**

Date	Name of Commenter	Topics	Traffic	Wildlife	Land Use	Aesthetics	Design	Stormwater	Construction Activity
7/20	York	Appearance of the stormwater facility on the intersection of Semi Dr. and Drayton Harbor Rd.				X		X	
7/23	Wilson	Storage use, graffiti, litter, illicit use			X				
7/24	MacDonald	Entrance location across from Gleneagles, density of development near the project entrance, buffering, habitat		X		X	X		
7/27	Pick	Tree retention, storage use, buffering			X	X			
7/27	Smith	Habitat, litter, traffic safety, open space and buffering, landscape enhancement, entrance location across from Gleneagles, density of units	X	X		X	X		
7/28	Stubenrauch	Habitat, litter, traffic safety, open space and buffering, landscape enhancement, entrance location across from Gleneagles, density of units, penalize delayed or stalled construction	X	X		X	X		X
7/29	Monks	Entrance location across from Gleneagles, buffering, wildlife and natural areas, commercial use, include in SRA	X	X	X		X		
7/31	Berkowitz	Stormwater, air/dust pollution, noise pollution, traffic, study and analysis, eliminate commercial use, reduce density, buffering, entrance location across from Gleneagles, include in SRA	X	X	X	X	X	X	X
7/31	Johnson	Entrance location across from Gleneagles, phased clearing, buffering, include in SRA	X		X	X	X		
7/31	Newman	Traffic safety, entrance location across from Gleneagles, construction noise and traffic, density too high, stormwater concern, sewer concern, building height	X		X	X		X	X
8/1	York	Habitat, litter, traffic safety, open space and buffering, landscape enhancement, entrance location across from Gleneagles, density of units, park use and location, wildlife/habitat, timing of landscape and buffer planting, SRA membership or approval	X	X		X	X		X
8/2	Johnson	Entrance location across from Gleneagles, traffic	X						

## Madeline Ottley

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**From:** Will York <willameyork@gmail.com>  
**Sent:** Wednesday, July 20, 2016 5:11 PM  
**To:** Michael Jones  
**Subject:** Re: Semiahmoo Zone 3 Proposal -- File #LOP-1-16 and PUD-2-16

Thank you. We are concerned about the appearance of any structure to treat storm water on the corner designated Tract E.

If we need to file additional comment, or if we need to address it differently, please let us know. I also appreciate very much your taking the time to describe what you anticipate to be the options with regard to design for that area. We are encouraged by your sensitivity to our concerns.

Will York and Cheryl Strong

On Jul 20, 2016, at 4:01 PM, Michael Jones <[mjones@cityofblaine.com](mailto:mjones@cityofblaine.com)> wrote:

Mr. York/Ms. Strong

At this stage in the process the stormwater system is not designed to quite the level of detail needed to answer your question. The location you mention will contain a bioretention cell (meaning a natural area that can capture and treat water while it stays in place for a period of time before draining away.)

We have a preliminary stormwater study at this time. (I doubt you want to read it, but just in case, I've attached it.) If the project is approved, the final stormwater study and engineering will flesh out the details.

The worst of these things are concrete basins surrounded by chain link fences. We won't let one of those be constructed there. We won't allow a fenced pond there. It could be something that looks like a wetland. It could be a pond with gently sloped edges (not requiring fencing). In some instances it can be a meadow or other landscape area with specially enhanced soil. As I say, we do not have that level of detail yet, but these are examples of bioretention features.

I'm sure the owner has similar thoughts as you: that it is a high-profile location important to property values and neighborhood character. Regardless, we will require that the bioretention area is both naturalized and landscaped.

Please send in a comment saying that you are concerned about the appearance of that stormwater feature if that is the case.

Thanks,

Michael

*All emails to or from me are considered public records and may be subject to disclosure.*

**From:** Will York [<mailto:williameyork@gmail.com>]  
**Sent:** Wednesday, July 20, 2016 3:31 PM  
**To:** Michael Jones  
**Subject:** Semiahmoo Zone 3 Proposal -- File #LOP-1-16 and PUD-2-16

Mr. Michael Jones

Community Development Director

City of Blaine

Dear Mr. Jones:

My wife Cheryl and I own a condominium unit in Gleneagle Villas, across the street from the proposed Zone 3 development, and we have a question.

In the Support Document (attached herewith) to the application, Page 2-3, there is a chart describing each tract noted on the site plan. The entry for Tract E reads as follows:

Tract E – Stormwater – “Stormwater treatment and possible detention for eastern 2/3 of site.”

And further on Page 4, item iii. 4. Stormwater: “The stormwater landscaping plan in Tracts E and J I primarily designed to create the treatment modality for stormwater runoff from the streets...”

Can you clarify for us what “Stormwater treatment” and “treatment modality” mean with reference to Tract E? Is this only a runoff detention area or does the development plan contemplate construction of treatment infrastructure on Tract E that would be visible from Semiahmoo Parkway?

Our concern is that Tract E is a highly visible corner which impacts the appearance of that segment of Semiahmoo Parkway and also impacts the view from Gleneagle Villas.

Thank you,

Will York and Cheryl Strong, Owners

9158 Gleneagle Drive

Gleneagle Condominiums

<Attachment M Resort Semiahmoo Zone 3 Preliminary Stormwater Plan.pdf>

## Madeline Ottley

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**From:** Bevan <bevanwilson@telus.net>  
**Sent:** Saturday, July 23, 2016 6:43 PM  
**To:** Michael Jones  
**Cc:** janwilson@telus.net  
**Subject:** reply to Notice Of Application July 20, 2016

City of Blaine City Council

Thank you for the opportunity to respond to this SEMIAHMOO ZONE 3 proposal

As residents in this area we want to strongly object to the inclusion of the indoor storage facility which is planned for on TRACT A of the development request.

The suggestion of storage units on tract A will present to the city several concerns. Some concerns are immediate and others will present themselves as time goes by and the units are no longer "New", freshly painted, landscaped etc. This beautiful, pristine land surely has better uses than these containers in the middle of this residential area .

There are many environmental and social concerns as well as the sight of the "boxes" ... What will be stored in these "personal and private units" ? Once the "blush is off the rose" so to speak, who will maintain these for graffiti, "dumping" of unwanted materials on the ground around the units and in the forest area surrounding TRACT 3? Unknown dangerous and harmful substances may be stored in the units which will need state environmental action. Police presence may be needed to maintain order where the large storage area provides places for unsavory meetings. The list could go on.....

I understand from the information meeting that the plan is also to offer these units for sale which would further erode any controls that could become necessary.

There are already many storage facilities around the City of Blaine which can help the few who need this service. This is the worst use of this beautiful residential setting.

I am shocked that the City of Blaine would even consider it.

Jan and Bevan Wilson  
8997 Semiahmoo Drive  
98230

## Madeline Ottley

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**From:** Grant Macdonald <grantmacd@shaw.ca>  
**Sent:** Sunday, July 24, 2016 10:13 PM  
**To:** Michael Jones  
**Subject:** Semiahmoo - Zone 3

9054 Gleneagle Drive

Blaine, WA, 98230

July 25, 2016

Michael Jones

Community Development Director

3000 - 435 Martin Street

Blaine, WA, 98230

### Re: Semiahmoo, Zone 3

-

We have owned a condo in Gleneagle Villas since 1993 and have always loved the peacefulness and natural beauty that drew us to Semiahmoo in the first place. Anything that threatens this atmosphere—so unique in modern developments, causes alarm bells to ring.

In studying the preliminary plan submitted several concerns have arisen. First of all—must the Parkway entrance be exactly across from the Gleneagle entrance effectively mimicking a city intersection? This is especially worrisome since the location of the proposed fourplex with its northeast corner touching the 20 ft. buffer is a mere driveway's width away from the mechanized gate and in full view of all passersby. In observing other entrances in the Semiahmoo development, it is apparent a generous treed space separates the gates from the nearest buildings giving the area a sense of rural charm and privacy. In this instance driveways and a bank of garage doors will confront anyone approaching or driving by and the tiny entrance garden, a pitiful green space allotment, will do little to ameliorate the 'raw' feeling of this development. This stands in sharp contrast to the countrified feeling of the other Semiahmoo communities. Surely this entry area should look inviting. A formidable fourplex so close at hand is not what is called for.

I am also concerned about the term 'open space' for the area surrounding the development. I trust this area will not actually be 'open' but rather 'densified' with more trees added to the ones already growing there to maintain a very natural look.

I also question why a 30 ft. building setback is stipulated for the southern border and merely a 20 ft. one along the Parkway.

Another concern is the drastic reduction of natural habitat for the birds and animals of the area. Rather than a 'city park' area for tract D, could this area not be left as it is with possibly trails winding throughout? Perhaps more native plants could be added or encouraged to grow as replacement greenery to compensate for the recently logged trees. Please don't let us lose the very things that make Semiahmoo so unique and appealing.

Sincerely,

June Macdonald

## Madeline Ottley

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**From:** Roy Pick <rjpick@telus.net>  
**Sent:** Wednesday, July 27, 2016 10:15 PM  
**To:** Michael Jones  
**Cc:** rjpick@telus.net  
**Subject:** Notice of Application,

Dear Mr. Jones: I am writing with respect to the copy of a Notice Application I received regarding File Numbers LOP-1-16 and PUD-2-16, Semiahmoo Zone 3. This 19.4 acre parcel is a very attractive development area. It is level and is heavily treed with mature evergreens. It will make a very attractive residential area if many of the trees will be retained.

However I note the inclusion of a prominent Indoor Storage area, designated as Tract A. In general, such areas are not attractive, often surrounded by wire fencing. Such storage facilities are generally located on less attractive land, adjacent to commercial and industrial developments. As a resident in the vicinity of this feature I find it appalling that such a facility would be considered. This could be a very attractive sub division with its proximity to the golf courses and the Semiahmoo Spit. The Indoor Storage Facility would greatly degrade the sub division and would only be acceptable if it is surrounded by properly maintained trees and shrubs.

In discussing this facility with neighbours who attended the June 27<sup>th</sup> meeting (I was away) they indicated that it was suggested that the storage units would be sold to individual owners. This is an even greater worry as who would look after the general maintenance. Without proper supervision such a facility would become a collection site for junk and unwanted articles.

In general I do not object to the development. But I strongly object to the Indoor Storage Facility (Tract A) as being inconsistent with the residential tone of the development. I also note the size of Open Space Tracts (Tract E and G). It would appear that Tract G is only for the use of residents and not the public. Tract E, being on a corner, would also not be useful to the public as parking near this busy corner would be difficult.

I also note the 20 ft. open space buffer around the development. I hope that "open space" does not mean the cutting down of the trees in the buffer area. I would like to know who maintains these buffer areas. Does this become the responsibility, with costs, of the City of Blaine.

Thank you for your consideration and I look forward to receiving notice of the public hearing.

Regards,  
Roy and Sherry Pick  
8993 Semiahmoo Drive.

## Madeline Ottley

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**From:** Blair & Teresa Smith <vincenvera@comcast.net>  
**Sent:** Wednesday, July 27, 2016 5:15 PM  
**To:** Michael Jones  
**Cc:** ksussman@lcp2.net; gregwi@comcast.net; fastoggie@gmail.com; alberstein@aol.com; scullisn@hotmail.com; bethrtc@hotmail.com; billyrpearson@yahoo.com; rinkege@comcast.net; elcmbp@hotmail.com; Colin; Mavis Dalzell; mandfnewman@gmail.com; etdeamer@comcast.net; Janis; stanmonks; mariamonks915; Scott Brown; Ace; leeberan@hotmail.com; Alexander Johnson; Carol Fairman; msimpson105@cox.net; jeanne.landon@gmail.com; mrhagerman@gmail.com; ljhagerman@gmail.com; mekbart@yahoo.com; Berkowitz, Larry; Stubenrauch, Ann; vincenvera; junemacdonald@shaw.ca; Mary Ann; Will York; Strong, Cheryl; rctuthill@yahoo.com; Gary Reibman  
**Subject:** Our Comments Regarding The Semiahmoo Zone 3 Proposal ~ File # LOP-1-16 and PUD-2-16  
**Attachments:** PUD Image.jpg; Resort Semiahmoo Zone 3 PUD-Plat Application Support Document.pdf

Dear Mr. Jones:

First of all, thank you for sending us the additional information contained in the aforementioned attachments. We have reviewed them and have concerns regarding both the size and scope of this proposed project. Our concerns relate to environmental impacts on the wildlife, public safety concerns, and quality of life impacts on our existing residents.

### **Environmental Impacts:**

We live directly across the street from the area marked as "Tract D" on a year-round basis. We walk and clean up trash nearly every day along the trails of Semiahmoo Parkway all the way from the abandoned Horizon development, down to the Semiahmoo Resort, including the beaches along the Semiahmoo Spit.

It should come as no surprise that we have seen/heard a great deal of wildlife activity in Resort Semiahmoo Zone 3 including deer, raccoons, coyotes, bald eagles, owls, and woodpeckers, etc. These birds and animals use this area to raise their young, which adds to the beauty and charm for existing residents and visitors, including tourists to the area. The loss of this habitat will have an obvious negative impact upon the resident and seasonal wildlife.

Sadly, we pick up several small grocery-sized bags of assorted plastic, metal and organic (primarily dog waste) trash nearly every day off of the beaches and trails of this area including along the Semiahmoo Drive and Semiahmoo Parkway bordering this proposed project. The litter comes from a variety of sources including: boats, passing automobiles, day trip visitors to the county park at the foot of the spit (which does not have garbage cans for public use), and dog walkers who leave pet waste (both bagged and unbagged) along the trails and beaches. During this past winter's windstorms we collected a large amount of obvious household trash that blew out of our own neighborhoods on garbage pick up day(s) and onto the streets, trails and beaches below.

The reason I mention the trash is that adding potentially 119 more homes in a windy area within a city that apparently is unable to place and maintain garbage cans in the existing public areas along the spit will not help with, and will in fact only exacerbate the existing pollution problems on the trails,

streets, and beaches of this area, including into Semiahmoo Bay/Drayton Harbor, which so many people depend upon economically with tourism, fishing, oyster farming, recreational walking, etc.

**Public Safety Impacts:**

On a daily basis, from our living room window we witness the effects of ever increasing traffic at the four-way stop where Semiahmoo Parkway and Semiahmoo Drive intersect. Other than the rare times that police are present, the majority of people driving through the four-way intersection usually slow down, but rarely stop for the stop signs. We have been nearly run over by people while walking in these marked crosswalks. We have people speeding and even obviously racing cars through these intersections. We have complained to the police, but they cannot seem to be here very much due to lack of resources.

Again, the reason I mention this is that potentially adding 119 more homes, after all the new homes currently being added onto the Semiahmoo Spit and possibly also a business district up here, will only result in more automobile traffic and more impatient drivers, all into a city that is unable to provide needed infrastructure at this vital intersection nor the police resources to deal with the existing and future population driving out here. This will inevitably produce road rage, more speeding automobiles, and more vehicles running through stops signs, possibly resulting in injuries or worse to other drivers, cyclists, walkers, and wildlife. Putting in a traffic light does not fit with the rural charm of this area.

**Quality of Life Impacts:**

Loss of wildlife and their habitat, damage to the ecosystems from increased public garbage, increased traffic on roadways that cannot naturally handle any more, construction lasting several years in an area that already has several half finished developments such as Carnoustie and Horizon negatively affects the quality of life here for many residents, especially those of us in Gleneagle Villas. The residents of Semiahmoo contribute mightily to the property tax base of the city of Blaine and receive less services in return compared to the rest of the city due to the fact that we maintain our own neighborhoods and streets and use much less police and fire services than the rest of the city does.

Rather than allowing a developer to shoe horn in another 119 homes and create problems for existing residents here, the city should be ensuring the peace and repose of an existing citizenry that does so much for the city, not to mention maintain the tranquility of a resort area that also contributes greatly to the city's tax base as well.

**Proposed Minimum Modifications to the Proposed Development:**

- Increase the open space buffer surrounding the proposed development from 20' of open space to a minimum of 40'. This will allow for more of a "wildlife highway" for the animals to use and for the existing residents to continue to enjoy having them and their young move around freely.
- Require that the developer plant a wall of mature evergreen trees (native evergreens, possibly Western Cedars?) around the proposed development in the aforementioned open space buffer along with other native shrubs, plantings etc. This would make a natural barrier to stop any

garbage from blowing out of the new development on windy days into the streets, surrounding neighborhoods and worst of all, onto the beaches and waterways below.

- Ensure that the area shown on tract D on the proposed site plan is either converted into a low maintenance rugged park for neighborhood people to walk to (no parking needed or wanted) or better yet, left as an untouched green space for what will remain of the wildlife habitat to rest/forage with their young as they pass by, as they always have. If the decision is to turn tract D into a park, maintaining it is the very least this city can do for the local residents here, considering the new additional tax base the city would be getting with this development. Additionally, the Semiahmoo Resort Association should be able to have a large say in the design and use of this new open space area in tract D via its elected and/or appointed representatives. Under no circumstances should any housing or commercial development be put in tract D!
- Require the builder to plant, at their expense, a wall of large evergreen trees (again, native evergreens, possibly Western Cedars?) of no less than 10 feet in height, around the perimeter of Gleneagle Villas so as to shield existing residents of this community from the increased noise and unpleasant visual effects brought upon us by their development.
- Move the entrance gate and monument sign that is planned for Semiahmoo Parkway over to Semiahmoo Drive as was strongly suggested in all of previous meetings with the developer. Semiahmoo Parkway has become so busy that with all the added homes being built down on the spit right now, plus the requested additional 119 homes in this development, having northbound drivers making a left hand turn into the planned Semiahmoo Zone 3 development will result in multiple cars backing up and an increase in rear-end collisions, not to mention further delays for those of us attempting to make a right hand turn into our homes in Gleneagle Villas.
- Find some way to reduce the proposed density of this project down from 119 units. The whole community, including wildlife, ecosystems, neighborhood public safety and our roadways should not be negatively impacted forever so that a few individuals can attain a one-time profit.

We also would request that no threshold approval of this project be granted until such time as a mutually acceptable agreement is in place between the Resort Semiahmoo 3 and the Semiahmoo Resort Association.

Respectfully submitted,

Blair & Teresa Smith  
9141 Gleneagle Drive  
Blaine, WA. 98230

cc Gleneagle Villas homeowners

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**From:** "Michael Jones" <mjones@cityofblaine.com>  
**To:** "Blair & Teresa Smith" <vincenvera@comcast.net>

**Sent:** Tuesday, July 19, 2016 8:04:56 AM

**Subject:** RE: Semiahmoo Zone 3 Proposal ~ File # LOP-1-16 and PUD-2-16

Thanks for your interest. See responses below.

Michael

*All emails to or from me are considered public records and may be subject to disclosure.*

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**From:** Blair & Teresa Smith [mailto:vincenvera@comcast.net]

**Sent:** Tuesday, July 19, 2016 7:57 AM

**To:** Michael Jones

**Subject:** Semiahmoo Zone 3 Proposal ~ File # LOP-1-16 and PUD-2-16

Sir:

We live across the street from this proposed development and received your notice of application letter in yesterday's mail. We have a couple of questions before we make comment:

1. Do we address our initial public comments within this 20 day window specifically to you as the city staff person, or should they be addressed to the planning commission or the city council, or all of the above ?

You can address them to me.

2. Can our comments be made by email or do they need to be a via a formal hand signed signed letter?

Email is fine.

3. At this juncture, can we comment on both the potential appropriateness of the proposed project (including size & scope) as well as the potential environmental impacts?

Any relevant topics you wish to address.

4. Can you tell us which tract is for the proposed commercial development and which tract is for the potential park site?

Tract A storage condominiums and Tract C mixed use with commercial and residential. Tract D is a potential future park site.

Thank you,

Blair & Teresa Smith

9141 Gleneagle Drive

**Subject:** RE: Semiahmoo Zone 3 Proposal ~ File # LOP-1-16 and PUD-2-16

**From:** Ann Stubenrauch (eannstubenrauch@yahoo.com)

**To:** mjones@cityofblaine.com;

**Date:** Thursday, July 28, 2016 5:14 PM

Dear Mr. Jones:

I have concerns regarding both the size and scope of this proposed project. These concerns relate to environmental impacts on the wildlife, public safety concerns, and quality of life impacts on our existing residences.

**Environmental Impacts:**

I live in Gleneagle Villas which is directly across the street from the area marked as "Tract D" on a year-round basis. Residents walk and clean up trash nearly every day along the trails of Semiahmoo Parkway all the way from the abandoned Horizon development, down to the Semiahmoo Resort, including the beaches along the Semiahmoo Spit.

It should come as no surprise that we have seen/heard a great deal of wildlife activity in Resort Semiahmoo Zone 3 including deer, raccoons, coyotes, bald eagles, owls, and woodpeckers, etc. These birds and animals use this area to raise their young, which adds to the beauty and charm for existing residents and visitors, including tourists to the area. The loss of this habitat will have an obvious negative impact upon the resident and seasonal wildlife.

Sadly, *every day* several small grocery-sized bags of assorted plastic, metal and organic (primarily dog waste) trash are picked up off the beaches and trails of this area including along the Semiahmoo Drive and Semiahmoo Parkway bordering this proposed project. The litter comes from a variety of sources including: boats, passing automobiles, day trip visitors to the county park at the foot of the spit (which does not have garbage cans for public use), and dog walkers who leave pet waste (both bagged and unbagged) along the trails and beaches. During this past winter's windstorms we collected a large amount of obvious household trash that blew out of our own neighborhoods on garbage pick up day(s) and onto the streets, trails and beaches below.

The reason I mention the trash is that adding potentially 119 more homes in a windy area within a city that apparently is unable to place and maintain garbage cans in the existing public areas along the spit will not help with, and will in fact only exacerbate the existing pollution problems on the trails, streets, and beaches of this area, including into Semiahmoo Bay/Drayton Harbor, which so many people depend upon economically with tourism, fishing, oyster farming, recreational walking, etc.

**Public Safety Impacts:**

On a daily basis, from our home, we see *AND HEAR* the effects of ever increasing traffic at the four-way stop where Semiahmoo Parkway and Semiahmoo Drive intersect. Other than the rare times that police are present, the majority of people driving through the four-way intersection usually slow down, but rarely stop for the stop signs. We, and our neighbors, have been nearly run over by people while walking in these marked crosswalks. We have people speeding and even obviously racing cars through these intersections. We have complained to the police, but they cannot seem to be here very much due to lack of resources.

Again, the reason I mention this is that potentially adding 119 more homes, after all the new homes currently being added onto the Semiahmoo Spit, the rapidly increasing activities at the Semiahmoo Resort, and possibly also a business district up here, will only result in more automobile and heavy construction vehicle traffic and more impatient drivers, all into a city that is unable to provide needed infrastructure at this vital intersection nor the police resources to deal with the existing and future population driving out here. This will inevitably produce road rage, more speeding automobiles/trucks, and more vehicles running through stops signs, possibly resulting in injuries or worse to other drivers, cyclists, walkers, and wildlife. Putting in a traffic light does not fit with the rural charm of this area.

**Quality of Life Impacts:**

Loss of wildlife and their habitat, damage to the ecosystems from increased public garbage, increased traffic on roadways that cannot naturally handle any more, construction lasting several years in an area that already has several half finished developments such as Carnoustie and Horizon negatively affects the quality of life here for many residents, especially those of us in Gleneagle Villas. The residents of Semiahmoo contribute mightily to the property tax base of the city of Blaine and receive less services in return compared to the rest of the city due to the fact that we maintain our own neighborhoods and streets and use much less police and fire services than the rest of the city does.

Rather than allowing a developer to shoe horn in another 119 homes and create problems for existing residents here, the city should be ensuring the peace and repose of an existing citizenry that does so much for the city, not to mention maintain the tranquility of a resort area that also contributes greatly to the city's tax base as well.

**Proposed Minimum Modifications to the Proposed Development:**

- Increase the open space buffer surrounding the proposed development from 20' of open space to a minimum of 40'. This will allow for more of a "wildlife highway" for the animals to use and for the existing residents to continue to enjoy having them and their young move around freely.
- Require that the developer plant a wall of mature evergreen trees (native evergreens, possibly Western Cedars?) around the proposed development in the aforementioned open space buffer along with other native (non-invasive) shrubs, plantings etc. This would make a natural barrier to stop any garbage from blowing out of the new development on windy days into the streets, surrounding neighborhoods and worst of all, onto the beaches and waterways below.
- Ensure that the area shown on tract D on the proposed site plan is either converted into a low maintenance rugged park for neighborhood people to walk to (no parking needed or wanted) or better yet, left as an untouched green space for what will remain of the wildlife habitat to rest/forage with their young as they pass by, as they always have. If the decision is to turn tract D into a park, maintaining it is the very least this city can do for the local residents here, considering the new additional tax base the city would be getting with this development. Additionally, the Semiahmoo Resort Association should be able to have a large say in the design and use of this new open space area in tract D via its elected and/or appointed representatives. Under no circumstances should any housing or commercial development be put in tract D!
- Require the builder to plant, at their expense, a wall of large evergreen trees (again, native evergreens, possibly Western Cedars?) of no less than 10 feet in height, around the perimeter of Gleneagle Villas so as to shield existing residents of this community from the increased noise and unpleasant visual effects brought upon us by their development.

- Move the entrance gate and monument sign that is planned for Semiahmoo Parkway over to Semiahmoo Drive as was strongly suggested in all of previous meetings with the developer. Semiahmoo Parkway has become so busy that with all the added homes being built down on the spit right now, plus the requested additional 119 homes in this development, having northbound drivers making a left hand turn into the planned Semiahmoo Zone 3 development will result in multiple cars backing up and an increase in rear-end collisions, not to mention further delays for those of us attempting to make a right hand turn into our homes in Gleneagle Villas.
- Find some way to reduce the proposed density of this project down from 119 units. The whole community, including wildlife, ecosystems, neighborhood public safety and our roadways should not be negatively impacted forever so that a few individuals can attain a one-time profit.
- Require the developer to submit a detailed project construction plan -- from commencement to completion -- with deadlines for completion of each phase of entire development. Failure to meet each deadline should carry a significant fine payable to either the SRA or the City of Blaine. Developer should have proof of insurance to cover these fines if necessary. This should help in eliminating additional development failures -- such as Horizon and Carnoustie -- in the Semiahmoo area.
- All of the above should address the valid concerns that
  - a) this development will depreciate existing property values;
  - b) there will be years of living in a construction zone that is ongoing with no end in sight; and
  - c) that the development architecture is in sync with the existing architectural integrity of Semiahmoo and approved by the ASC of the SRA.

I also would request that no threshold approval of this project be granted until such time as a mutually acceptable agreement is in place between the Resort Semiahmoo 3 and the Semiahmoo Resort Association.

Respectfully submitted,

E. Ann Stubenrauch  
9138 Gleneagle Drive, Blaine, WA 98230  
360-393-3066  
eannstubenrauch@yahoo.com

## Madeline Ottley

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**From:** stanmonks@comcast.net  
**Sent:** Friday, July 29, 2016 4:22 PM  
**To:** Michael Jones  
**Cc:** Monks, Maria; Ken & Karen; gregwi@comcast.net; fastoggie@gmail.com; scullsn@hotmail.com; alberstein@aol.com; billyrpearson@yahoo.com; rinkege@comcast.net; elcmbp@hotmail.com; Dalzell, Colin; mandfnewman@gmail.com; etdeamer@comcast.net; j jhollaway; Scott Brown; lois brown; leeberan@hotmail.com; abj3@comcast.net; cfairman@me.com; msimpson105@cox.net; jeanne landon; Mike & Linda; ytaldb@gmail.com; vincenvera@comcast.net; galmarazl@hotmail.com; grantmacd@shaw.ca; junemacdonald@shaw.ca; dmafell@hotmail.com; williameyork@gmail.com; rctuthill@yahoo.com; azfox@aol.com; InCAM@live.com  
**Subject:** Resort Semihamoo Zone 3

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Dear Mr Jones:

I received a Notice of Application, dated July 20, 2016, a few days ago regarding Resort Semihamoo Zone 3.

I'm a resident of Blaine living in the Gleneagle Villas area of the Semihamoo Resort. The planned unit development is important as it will have a major impact on the area and the quality of life of the local residents.

I recognise the need for development. This need has to be tempered with both maintaining and enhancing life's quality.

I've reviewed the plan and have the following comments.

1. The planned entrance to the development on Semihamoo Parkway is a potential traffic hazard due to its very close proximity to the entrance of Gleneagle Villas and the fact that Semihamoo Parkway is, along with Drayton Harbor Rd, the major route onto Semihamoo Spit. This route is highly travelled when compared with the traffic on Semihamoo Drive - a traffic survey indicates that there is twice the amount of traffic on Semihamoo Parkway compared with Semihamoo Drive.

To resolve this potential problem I would like to suggest that the proposed entrance on Semihamoo Parkway be moved to Semihamoo Drive. As the plan already indicates an entrance on Semihamoo Drive this will give two entrances on the Drive, which I don't believe will be a problem, though possibly one entrance may suffice.

2. To protect and maintain the ambience and nature of the neighborhood I would like to suggest having a **30 ft** "green" buffer strip between the planned development and Semihamoo Parkway and Semihamoo Drive. This buffer strip be stocked with a mixture of **mature** deciduous and conifer trees that provide shielding of the development from the roadway **at all times of the year**. This will protect the neighborhood's natural ambience as well as making the development a more desirable place to live due to blocking out views of traffic and its associated noise.

3. There's a substantial amount of wildlife in the area. Over the years, as the area has been developed, the amount of land in the area available for wildlife and Blaine residents' - men, women and children - use of woodland trails and experiencing nature has decreased. Rather than the commercial plan for phase 1, I would like to suggest that, other than the unit development, a major portion of Resort Semihamoo Zone 3 be left in a natural state devoted to a wildlife and recreational park for the benefit of the wildlife and where humans can unwind, relax and experience nature.

4. I strongly believe that there are enough commercial and retail businesses - coffee shops, restaurants, gas stations etc. - in the area to satisfy residents' both current and foreseeable future needs. My concerns regarding commercial use of the area are for ventures that do not benefit residents and the environment. Any commercial uses within the planned zone should be controlled by the Semihamoo Residents Association to ensure that any commercial uses are beneficial both to the City and especially to the Semihamoo community.

I trust that my comments and concerns will assist you, the Planning Department and the Blaine City Council in planning and implementing an appropriate course of action in this matter.

I believe my suggestions will benefit the City, the Semihamoo community and the owner of this property.

Sincerely,

Stan Monks

## Madeline Ottley

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**From:** Larry <ytaldb@gmail.com>  
**Sent:** Sunday, July 31, 2016 2:16 PM  
**To:** Michael Jones  
**Subject:** COMMENTS ON THE PROJECT NAMED "SEMIAHMOO ZONE 3", FILE # LOP-1-16 AND PUD-2-16

TO: MICHAEL JONES, COMMUNITY DEVELOPMENT DIRECTOR  
CITY OF BLAINE, WA

FROM: LAWRENCE BERKOWITZ AND ANN STUBENRAUCH  
9138 GLENEAGLE DR, BLAINE [\(360\)393-3066](tel:3603933066)

RE: COMMENTS ON THE PROJECT NAMED "SEMIAHMOO ZONE 3"  
FILE # LOP-1-16 AND PUD-2-16

DEAR MR JONES

THE FOLLOWING COMMENTS ARE IN REGARD TO THE STATE ENVIRONMENTAL POLICY ACT (SEPA) CONSIDERATIONS FOR THE ABOVE REFERENCED PROJECT

1. THE LAND HAS A SIGNIFICANT SLOPE DOWN TOWARDS THE "BOUNDARY BAY" SUBDIVISION AND TOWARDS SEMIAHMOO BAY AND DRAYTON HARBOR. THE INTENSIVE DEVELOPMENT PLANNED FOR THIS PROJECT MAY CAUSE MUCH MORE AND FASTER RUNOFF. THIS COULD HAVE SUBSTANTIAL IMPACT ON WATER QUALITY, EROSION AND ON THE HOMES IN BOUNDARY BAY.
2. THE ADDITIONAL AIR, DUST AND NOISE POLLUTION CAUSED BY CONSTRUCTION AND THE HIGH NUMBER OF ADDED VEHICLES THAT WILL FREQUENT THE AREA, DURING AND AFTER PROJECT COMPLETION, ARE SIGNIFICANT PROBLEMS. THIS IS AN AREA THAT ALREADY ATTRACTS SUBSTANTIAL NON-RESIDENT TRAFFIC. ADDING A LARGE NUMBER OF DAILY VEHICLE TRIPS, ESPECIALLY IN THE SUMMER MONTHS, WILL NEGATIVELY IMPACT AIR QUALITY AND REDUCE THE QUALITY OF LIFE FOR THE RESIDENTS OF THE CITY OF BLAINE.

THIS IS A MAJOR DEVELOPMENT WHOSE NEGATIVE IMPACT ON THE ENVIRONMENT SHOULD BE CAREFULLY CONSIDERED. THE ENVIRONMENTAL IMPACT IS MUCH GREATER AND MUCH MORE PERMANENT THAN THE LOGGING OPERATION DONE ON THE PROPERTY EARLIER. NEW STUDIES SHOULD BE PERFORMED USING UP TO DATE INFORMATION. WE MUST TAKE OUR TIME TO ENSURE EVERYBODY'S INTERESTS ARE FAIRLY TREATED.

FOLLOWING ARE ADDITIONAL COMMENTS REGARDING THE PROJECT WHICH WOULD IMPROVE IT AND MAKE IT A MORE WELCOMED ADDITION TO THE SEMIAHMOO RESORT COMMUNITY

1. ELIMINATE THE COMMERCIAL PORTIONS OF THE PROJECT TO KEEP IT CONSISTENT WITH THE EXISTING NEIGHBORHOOD WHICH IS EXCLUSIVELY RESIDENTIAL.
2. REDUCE THE DENSITY BY INCREASING MINIMUM LOT SIZE AND PROVIDING MORE UNDEVELOPED GREEN SPACE. THIS WOULD MAKE IT BOTH MORE ATTRACTIVE FOR THE RESIDENTS AND THE SURROUNDING NEIGHBORS.

3. ADD MORE LANDSCAPE BUFFERING TO ENHANCE THE APPEARANCE OF THE PROJECT AND REDUCE THE IMPACT OF CONSTRUCTION AND THE ONGOING NOISE, DUST AND PRIVACY ISSUES.
4. ELIMINATE THE SEMIAHMOO PARKWAY ENTRANCE AND PROVIDE FOR 2 ENTRANCES ON SEMIAHMOO DRIVE. THE OPPOSING DRIVEWAYS ON PARKWAY ARE CLEARLY A SAFETY ISSUE. THIS CHANGE BECOMES MORE FEASIBLE IF THE PROJECT IS LIMITED TO RESIDENTIAL USE ONLY.
5. IT IS IMPORTANT THAT THE MOST UP TO DATE TRAFFIC INFORMATION BE USED. AT AN INITIAL MEETING THE DEVELOPERS INDICATED THEY WERE USING A SURVEY THAT I SUBSEQUENTLY REALIZED WAS OUTDATED.
6. DEVELOPERS SHOULD AGREE THAT THE ENTIRE PROJECT BE PART OF THE SEMIAHMOO RESORT ASSOCIATION AND BE SUBJECT TO THE SAME REVIEW PROCESS WHICH ALL THE REST OF THE SRA COMMUNITY MUST ABIDE. **THIS SHOULD BE AN ABSOLUTE NO COMPROMISE REQUIREMENT IF THIS PROJECT IS TO BE ALLOWED TO GO FORWARD.**

THANK YOU FOR YOUR ATTENTION TO THIS COMMUNICATION. WE KNOW YOU WILL GIVE THIS THE CAREFUL CONSIDERATION IT DESERVES.

## Madeline Ottley

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**From:** Alexander Johnson <abj3@comcast.net>  
**Sent:** Sunday, July 31, 2016 6:03 PM  
**To:** Michael Jones  
**Subject:** Resort Semiahmoo Zone 3

Dear Mr. Jones:

My wife and I, who are residents of Glen Eagle Villas at Semiahmoo, would like to go on record with the following requests concerning the planned unit development of Resort Semiahmoo Zone 3.

- We feel strongly that the proposed entry to Zone 3 from Semiahmoo Parkway constitutes a serious danger to vehicular and pedestrian traffic on Semiahmoo Parkway. We urge you to consider access to Zone 3 only from the safer proposed entry gate on Semiahmoo Drive.
- Please ensure that Tracts that are not included in the first phase of the Planned Unit Development are left in their natural states until their scheduled times for development. We make this request for the sake of the natural environment, its beauty, and the wellbeing of the wildlife who inhabit this area.
- We request that the buffer between Zone 3 and Semiahmoo Parkway and Semiahmoo Drive, be expanded from 20 feet to 30 feet. Additionally, we would like to see the mandated building setback from the interior edge of the buffer retained.
- We request that all recommendations that are issued by your office require that the developer agrees that all of Zone 3 be subject to the CC & R's of the Semiahmoo Resort Association before the project can be submitted to the Blaine City Council for consideration.

Thank for your consideration.

Sincerely yours,

Bryan & Daphne Johnson

9118 GlenEagle Drive

Blaine, WA 98230

RECEIVED

AUG 01 2016

By

July 31, 2016

Michael Jones  
Community Development Director  
City of Blaine  
435 Martin Street., Ste. 3000  
Blaine, WA 98230

Re: Resort Semiahmoo Zone 3 PUD Preliminary Plot Application

Dear Mr. Jones,

My husband and I moved to Gleneagle Community in May, 1996. We were both retired and found it a totally beautiful and delightful place to live. We walked on Semiahmoo Parkway and loved the wildlife, deer, rabbits and a great many types of birds. We walked to the spit and found the views of Boundary Bay, Drayton Harbor, the Marina, the Canadian mountains and Mt. Baker, breathtaking. Frank, my husband, died in January, 2010. My condo still suits me to a tee.

I recently received the Notice of Application of the Planned Unit Development of Zone 3, Resort Semiahmoo. I attended a meeting of the Gleneagle Community on July 27th. Many residents believe the main entrance of the new development on Semiahmoo Parkway must be relocated to the entrance between Tract B and Tract C on Semiahmoo DRIVE.

The entrance on Semiahmoo Parkway is directly across from the Gate of Gleneagle Villas. A dangerous, unsafe situation will come about due to

vehicles slowing down to go to the entrances on both sides of the street. There is also a four way stop a few feet from the gate area at the intersection of Semiahmoo Parkway and Semiahmoo Drive. It would be a perfect rear end collision situation. There is no such problem on Semiahmoo Drive.

I have a concern with the commercial building mentioned for Tract C. A four story building in our tranquil development is not appropriate and would have a negative impact on the environment of the area.

Heavy truck traffic will bring noise, dust and dirt with each phase of building. Residents of Gleneagle, Boundary Ridge, and Drayton Hillside communities will be subjected to this.

40 foot buffers throughout the area will be better than 20 foot buffers. Please preserve all existing evergreen trees and add good plants and 10 Foot Cedar trees for the future.

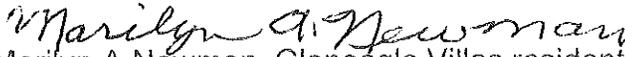
Semiahmoo residents receive CC&R's which are guidelines for developing property. I am quite sure much of the Zone 3 Planned Unit Development does not come up to those standards.

Our Group discussed the following concerns:

- \*The sizes of the lots are not defined. The density should be reduced.
- \* We have concerns about Water Runoff and Sewage.
- \* Heights of Buildings

It is hard to understand why more housing units are planned when there are several underway including Carnoustie and Horizon.

Respectively submitted,

  
Marilyn A Newman, Gleneagle Villas resident  
9048 Gleneagle Drive  
Blaine WA 98230 Phone: 360- 371- 4050

## Madeline Ottley

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**From:** Will York <willameyork@gmail.com>  
**Sent:** Monday, August 01, 2016 9:41 AM  
**To:** Michael Jones  
**Cc:** Blair & Teresa Smith; Cheryl Strong; Larry Berkowitz; Ann Stubenrauch; Colin; Janis; mekbart@yahoo.com; junemacdonald@shaw.ca; Alexander Johnson  
**Subject:** Regarding The Semiahmoo Zone 3 Proposal ~ File # LOP-1-16 and PUD-2-16

Dear Mr. Jones:

As residents of Gleneagle Villas, across the street from the proposed Zone 3 development, we fully support all the points made in the 7/27/16 statement by Blair and Teresa Smith, attached.

We would especially like to emphasize the importance of their remarks concerning 1) Tract D, the corner area currently designated for development as a park; 2) Tract H, the perimeter green space buffer around Zone 3; and 3) that a formal agreement between the Zone 3 development and Semiahmoo Resort Association be reached before threshold approval is considered.

1) The SEPA checklist accompanying the developer's application recognizes hawks, songbirds and deer as wildlife species observed on and near the site. From personal experience living here, we would add cottontail rabbits, raccoons, coyotes, owls, great blue herons and bald eagles to the list of animals we've observed there. Deer especially depend on the area--does with fawns can regularly be seen browsing and bedding on the property.

The presence of wildlife in Semiahmoo is a crucial amenity. A primary benefit of living here is the forested feel afforded by ample green space preserved throughout the development. Wild creatures and birds living in that green space are among its most charming features. In defense of this environment, and especially in view of the high housing density contemplated for Zone 3, it is imperative that this significant loss of habitat be mitigated by protecting Tract D from any further development. The developer's application suggests if a park is not approved by the city for development on Tract D that the developer would be allowed to build additional housing units there. In our view the creation of a park would have limited value at best for the neighborhood, due to loss of wildlife habitat and natural green space so characteristic of Semiahmoo. The only thing worse would be the loss of the Tract D open space altogether, to even more housing units.

2) As Mr. and Mrs. Smith point out, an important benefit would be gained by widening the perimeter Tract H from 20 feet to 40 feet, to serve as a protective corridor for wildlife traveling to and from other green space in the area. This would also enhance the screening function of the Tract H buffer zone, which currently has only sparse vegetation and is very lightly forested.

Whatever the width of the Tract H margin, the developers should be required to complete ALL fill planting of screening vegetation within it BEFORE ANY construction/preparation on site is allowed to begin. This will achieve three things: a) wildlife will be least impacted if new vegetation is planted before existing vegetation is disturbed; b) construction noise and dust will be screened as much as possible from the surrounding communities by pre-planting the buffer margin; and c) if the development should run out of money before showing a profit, as many in the Semiahmoo area have, the scars left on the land will at least be masked from view unlike Horizon, Carnoustie and others.

3) Finally, in the interest of protecting vital cohesiveness across Semiahmoo, we strongly support the last point made in the Smith statement that no threshold approval of this project be considered until such time as a mutually acceptable governing agreement is in place between the Zone 3 developers and Semiahmoo Resort Association.

Very respectfully,  
Will York & Cheryl Strong

9158 Gleneagle Drive

----- Forwarded message -----

From: **Blair & Teresa Smith** <[vincenvera@comcast.net](mailto:vincenvera@comcast.net)>

Date: Wed, Jul 27, 2016 at 5:15 PM

Subject: Our Comments Regarding The Semiahmoo Zone 3 Proposal ~ File # LOP-1-16 and PUD-2-16

To: [mjones@cityofblaine.com](mailto:mjones@cityofblaine.com)

Cc: [ksussman@lcp2.net](mailto:ksussman@lcp2.net), [gregwi@comcast.net](mailto:gregwi@comcast.net), [fastoggie@gmail.com](mailto:fastoggie@gmail.com), [alberstein@aol.com](mailto:alberstein@aol.com), [scullisn@hotmail.com](mailto:scullisn@hotmail.com), [bethrtc@hotmail.com](mailto:bethrtc@hotmail.com), [billyrpearson@yahoo.com](mailto:billyrpearson@yahoo.com), [rinkege@comcast.net](mailto:rinkege@comcast.net), [elcmbp@hotmail.com](mailto:elcmbp@hotmail.com), Colin <[ccdazell@comcast.net](mailto:ccdazell@comcast.net)>, Mavis Dalzell <[mcdalzell@comcast.net](mailto:mcdalzell@comcast.net)>, [mandfnewman@gmail.com](mailto:mandfnewman@gmail.com), [etdeamer@comcast.net](mailto:etdeamer@comcast.net), Janis <[j.jhollaway@comcast.net](mailto:j.jhollaway@comcast.net)>, stanmonks <[stanmonks@comcast.net](mailto:stanmonks@comcast.net)>, mariamonks915 <[mariamonks915@yahoo.com](mailto:mariamonks915@yahoo.com)>, sabco <[sabco@comcast.net](mailto:sabco@comcast.net)>, Ace <[lois.brown@comcast.net](mailto:lois.brown@comcast.net)>, [leeberan@hotmail.com](mailto:leeberan@hotmail.com), Alexander Johnson <[abj3@comcast.net](mailto:abj3@comcast.net)>, Carol Fairman <[cjfairman@me.com](mailto:cjfairman@me.com)>, [msimpson105@cox.net](mailto:msimpson105@cox.net), [jeanne.landon@gmail.com](mailto:jeanne.landon@gmail.com), [mrhagerman@gmail.com](mailto:mrhagerman@gmail.com), [ljhagerman@gmail.com](mailto:ljhagerman@gmail.com), [mekbart@yahoo.com](mailto:mekbart@yahoo.com), "Berkowitz, Larry" <[ytaldb@gmail.com](mailto:ytaldb@gmail.com)>, "Stubenrauch, Ann" <[eannstubenrauch@yahoo.com](mailto:eannstubenrauch@yahoo.com)>, vincenvera <[vincenvera@comcast.net](mailto:vincenvera@comcast.net)>, [junemacdonald@shaw.ca](mailto:junemacdonald@shaw.ca), Mary Ann <[dmafell@hotmail.com](mailto:dmafell@hotmail.com)>, Will York <[willameyork@gmail.com](mailto:willameyork@gmail.com)>, "Strong, Cheryl" <[cherylmstrong@gmail.com](mailto:cherylmstrong@gmail.com)>, [rtuthill@yahoo.com](mailto:rtuthill@yahoo.com), Gary Reibman <[azfox@aol.com](mailto:azfox@aol.com)>

Dear Mr. Jones:

First of all, thank you for sending us the additional information contained in the aforementioned attachments. We have reviewed them and have concerns regarding both the size and scope of this proposed project. Our concerns relate to environmental impacts on the wildlife, public safety concerns, and quality of life impacts on our existing residents.

**Environmental Impacts:**

We live directly across the street from the area marked as "Tract D" on a year-round basis. We walk and clean up trash nearly every day along the trails of Semiahmoo Parkway all the way from the abandoned Horizon development, down to the Semiahmoo Resort, including the beaches along the Semiahmoo Spit.

It should come as no surprise that we have seen/heard a great deal of wildlife activity in Resort Semiahmoo Zone 3 including deer, raccoons, coyotes, bald eagles, owls, and woodpeckers, etc. These birds and animals use this area to raise their young, which adds to the beauty and charm for existing residents and visitors, including tourists to the area. The loss of this habitat will have an obvious negative impact upon the resident and seasonal wildlife.

Sadly, we pick up several small grocery-sized bags of assorted plastic, metal and organic (primarily dog waste) trash nearly every day off of the beaches and trails of this area including along the Semiahmoo Drive and Semiahmoo Parkway bordering this proposed project. The litter comes from a variety of sources including: boats, passing automobiles, day trip visitors to the county park at the foot of the spit (which does not have garbage cans for public use), and dog walkers who leave pet waste (both bagged and unbagged) along the trails and beaches. During this past winter's windstorms we collected a large amount of obvious household trash that blew out of our own neighborhoods on garbage pick up day(s) and onto the streets, trails and beaches below.

The reason I mention the trash is that adding potentially 119 more homes in a windy area within a city that apparently is unable to place and maintain garbage cans in the existing public areas along the spit will not help with, and will in fact only exacerbate the existing pollution problems on the trails,

streets, and beaches of this area, including into Semiahmoo Bay/Drayton Harbor, which so many people depend upon economically with tourism, fishing, oyster farming, recreational walking, etc.

**Public Safety Impacts:**

On a daily basis, from our living room window we witness the effects of ever increasing traffic at the four-way stop where Semiahmoo Parkway and Semiahmoo Drive intersect. Other than the rare times that police are present, the majority of people driving through the four-way intersection usually slow down, but rarely stop for the stop signs. We have been nearly run over by people while walking in these marked crosswalks. We have people speeding and even obviously racing cars through these intersections. We have complained to the police, but they cannot seem to be here very much due to lack of resources.

Again, the reason I mention this is that potentially adding 119 more homes, after all the new homes currently being added onto the Semiahmoo Spit and possibly also a business district up here, will only result in more automobile traffic and more impatient drivers, all into a city that is unable to provide needed infrastructure at this vital intersection nor the police resources to deal with the existing and future population driving out here. This will inevitably produce road rage, more speeding automobiles, and more vehicles running through stops signs, possibly resulting in injuries or worse to other drivers, cyclists, walkers, and wildlife. Putting in a traffic light does not fit with the rural charm of this area.

**Quality of Life Impacts:**

Loss of wildlife and their habitat, damage to the ecosystems from increased public garbage, increased traffic on roadways that cannot naturally handle any more, construction lasting several years in an area that already has several half finished developments such as Carnoustie and Horizon negatively affects the quality of life here for many residents, especially those of us in Gleneagle Villas. The residents of Semiahmoo contribute mightily to the property tax base of the city of Blaine and receive less services in return compared to the rest of the city due to the fact that we maintain our own neighborhoods and streets and use much less police and fire services than the rest of the city does.

Rather than allowing a developer to shoe horn in another 119 homes and create problems for existing residents here, the city should be ensuring the peace and repose of an existing citizenry that does so much for the city, not to mention maintain the tranquility of a resort area that also contributes greatly to the city's tax base as well.

**Proposed Minimum Modifications to the Proposed Development:**

- Increase the open space buffer surrounding the proposed development from 20' of open space to a minimum of 40'. This will allow for more of a "wildlife highway" for the animals to use and for the existing residents to continue to enjoy having them and their young move around freely.
- Require that the developer plant a wall of mature evergreen trees (native evergreens, possibly Western Cedars?) around the proposed development in the aforementioned open space buffer along with other native shrubs, plantings etc. This would make a natural barrier to stop any garbage from blowing out of the new development on windy days into the streets, surrounding neighborhoods and worst of all, onto the beaches and waterways below.

- Ensure that the area shown on tract D on the proposed site plan is either converted into a low maintenance rugged park for neighborhood people to walk to (no parking needed or wanted) or better yet, left as an untouched green space for what will remain of the wildlife habitat to rest/forage with their young as they pass by, as they always have. If the decision is to turn tract D into a park, maintaining it is the very least this city can do for the local residents here, considering the new additional tax base the city would be getting with this development. Additionally, the Semiahmoo Resort Association should be able to have a large say in the design and use of this new open space area in tract D via its elected and/or appointed representatives. Under no circumstances should any housing or commercial development be put in tract D!
- Require the builder to plant, at their expense, a wall of large evergreen trees (again, native evergreens, possibly Western Cedars?) of no less than 10 feet in height, around the perimeter of Gleneagle Villas so as to shield existing residents of this community from the increased noise and unpleasant visual effects brought upon us by their development.
- Move the entrance gate and monument sign that is planned for Semiahmoo Parkway over to Semiahmoo Drive as was strongly suggested in all of previous meetings with the developer. Semiahmoo Parkway has become so busy that with all the added homes being built down on the spit right now, plus the requested additional 119 homes in this development, having northbound drivers making a left hand turn into the planned Semiahmoo Zone 3 development will result in multiple cars backing up and an increase in rear-end collisions, not to mention further delays for those of us attempting to make a right hand turn into our homes in Gleneagle Villas.
- Find some way to reduce the proposed density of this project down from 119 units. The whole community, including wildlife, ecosystems, neighborhood public safety and our roadways should not be negatively impacted forever so that a few individuals can attain a one-time profit.

We also would request that no threshold approval of this project be granted until such time as a mutually acceptable agreement is in place between the Resort Semiahmoo 3 and the Semiahmoo Resort Association.

Respectfully submitted,

Blair & Teresa Smith  
9141 Gleneagle Drive  
Blaine, WA. 98230

cc Gleneagle Villas homeowners

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## Madeline Ottley

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**From:** Alexander Johnson <abj3@comcast.net>  
**Sent:** Tuesday, August 02, 2016 9:47 AM  
**To:** Michael Jones  
**Subject:** Resort Semiahmoo Zone 3

I am a resident of Gleneagle Villas and have looked carefully at the plans for Zone 3. I am concerned by the extreme danger that I believe would be caused by the current location of the entrance to Zone 3 from Semiahmoo Parkway. It is located on a curve on a hill approaching a four way stop. It is difficult enough slowing down to enter the Gleneagle gate when being followed closely by other vehicles. I believe that having left turn traffic in the same location would be a hazzard, especially considering the increased traffic that would accompany the new development and its period of construction. I would request that the entrance location be changed to Semiahmoo Drive which has better sight lines, is more level and has less traffic.

Thank you,

Daphne Johnson

9118 Gleneagle Drive